



Eagle Ranch Association
Regular Meeting
Design Review Board

Thursday, December 19, 2024
3:00 p.m. MDT

Eagle Ranch Office or
Zoom Webinar

Please register as an attendee with this link:
https://zoom.us/webinar/register/WN_sFseklbyTAGDjhjXPHx33Q

Agenda

- 3:00pm 1) **Call to order. Verify quorum.**
- 3:05pm 2) **Approval of Board Minutes**
- a) Approval of Board Minutes from 11/21/2024
- 3) **Meeting Specific Topics/New Business**
- 3:10pm a) 148 West Foxglove – Garbarino-Cabeen Residence – Maggie Fitzgerald - Preliminary Review
- 3:25pm b) 36 Dewey Park - Wright Residence – Pavan Krueger - Final Review
- 3:40 pm c) 154 Longview Ave. – Nagle Residence – Keegan Winkeller of BKW Architects – Major Exterior Alteration with Addition of Square Footage (ADU)
- 4) **Other Business**
- 5) **Adjournment**

**** Please note: All times listed, other than the meeting start time, are approximate ****



Design Review Memorandum

Project Number: 04-07-11
Owner Name: Dick Garbarino & Martha Cabeen
Architect: Maggie Fitzgerald
Address: 148 W. Foxglove Ln
Legal: EAGLE RANCH FILING 4 Block: 7 Lot: 11
PRE-Design Meeting Date: November 13, 2024
Preliminary DRB Meeting Date: December 19, 2024
Final DRB Meeting Date:

PROJECT OVERVIEW

- Lot Size: 23,130 sf
- Accessory Dwelling Unit: No
- Slopes in Excess of 30%: No
- Design Guidelines: Meadows
- Style: Victorian
- Fire Suppression System: Refer to and EVW and TOE for fire suppression requirements



LIMITATIONS

Standard	Allowed	Proposed
Floor Area Maximum	6,000 sf	3,228 sf
Floor Area Minimum	1,500 sf	Complies
Site Coverage	30% = 6939 sf	2,351 sf
Impervious Area	50% = 11,565 sf	4,635 sf
Height	35 ft	Complies
Setbacks	Front: 25' Sides: 15' Rear: 25'	Building encroaches SW 15' side setback
Driveway Setback	7.5 ft from side property line	>7.5 ft
Development Disturbance	Property Lines	NA
Fenced Area	15% = 3,469 sf	NA
Pool Area	5% = 1,156 sf	NA

Preliminary Review – December 19, 2024

1. Site and Landscape Comments

- a. Building cannot encroach 15' side setback. Roof overhangs may extend 30" into setback. Current roof overhang encroaching into setback measures 38".
- b. *5.2.3.b(1) The front yard should appear as a manicured landscape that complements the street presence of the home as viewed from the arrival traffic flow.*
What is considered "manicured" with respect to water-wise and xeriscape lawns and landscapes?
Staff Request DRB Input.

2. Architecture Comments

- a. Specify trim and fascia materials/colors.
- b. *7.2.3(a) Corner boards should be provided with shingle, wood (or simulated wood) siding.*

3. Staff Recommendation

Staff recommends approval of the Preliminary Plan Review for the Garbarino-Cabeen Residence with the following conditions:

1. General Condition: Compliance with the Eagle Ranch Design Guidelines and process is not a substitute for compliance with Town of Eagle regulations, State regulations, or Federal regulations. Additional permits and approvals may be required by these agencies prior to commencing any work on the property. The property owner and its agents are responsible for ensuring compliance with all local, state, and federal regulations.
2. The applicant shall address the comments provided in this staff memorandum and any DRB comments prior to submittal for Final Review.
3. For Final Review, please include the following items within the drawing set:
 - a. Approximate Landscape budget and completion date.
 - b. Exterior lighting locations on building elevations.

CABEEN GARBARINO RESIDENCE - 148 W. FOX GLOVE LN



GENERAL NOTES:

1. DETAILS AND NOTES INDICATE TYPICAL CONDITIONS. MINOR DEVIATIONS FROM TYPICAL ARE TO BE ANTICIPATED AND ARE INFERRED. DETAILS AND NOTES PROVIDE DIRECTION AND OUTLINE THE DESIGN INTENT. THE CONTRACTOR SHALL USE PROFESSIONAL JUDGEMENT WHEN DEALING WITH SIMILAR CONDITIONS.
2. THE CONTRACTOR SHALL INVOLVE THE ARCHITECT IN PRE-CONSTRUCTION MEETINGS WITH SUB CONTRACTORS AND TRADESMEN. THE CONTRACTOR SHALL RELY UPON THE ARCHITECT TO COMMUNICATE THE DESIGN INTENT AND EXPECTED RESULTS.
3. DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR MASONRY UNLESS NOTED OTHERWISE. DIMENSIONS AT COLUMNS ARE TO CENTERLINE. VERTICAL DIMENSION ARE TO SUBFLOOR.
4. DO NOT SCALE DRAWINGS. TYPICAL AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE.
5. NOTIFY ARCHITECT OF ANY DISCREPANCIES WITHIN DRAWINGS, BETWEEN ENGINEERING, SPECIFICATIONS OR TRADES
6. ALL PENETRATIONS OF FIRE RESISTIVE FLOORS WALLS, AND OTHER ASSEMBLIES SHALL BE PROTECTED WITH MATERIALS CONFORMING TO UNDERWRITERS LABORATORIES (UL) LISTINGS FOR "THROUGH PENETRATION FIRE STOP SYSTEMS" THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE BUILDING INSPECTOR PRIOR TO APPLICATION
7. ALL UL LISTED ASSEMBLIES SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE MOST RECENT EDITION OF THE UNDERWRITERS LABORATORIES FIRE RESISTANCE MANUALS.
8. CONTRACTOR TO PROVIDE ADEQUATE BLOCKING IN WALLS TO RECEIVE ATTACHED EQUIPMENT, PLUMBING FIXTURES, MILLWORK, AND CASEWORK.
9. USE METAL EDGE AT ALL GYPSUM WALL BOARD AND CHANGES OF MATERIAL.
10. PROVIDE SEALANT AROUND ALL PLUMBING FIXTURES WHERE THEY ABUT AN ADJACENT SURFACE.
11. PROVIDE RADON MITIGATION THROUGH VENTILATION BELOW CONCRETE SLAB PER INDUSTRY STANDARDS.

OWNER MARTHA CABEEN & RICHARD GARBARINO
EAGLE, CO
PHONE: () -
MARTHACABEEN@ME.COM
DICKGARBARINO@ME.COM

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MAGGIETFITZ@GMAIL.COM

BUILDER NORTHSTAR CONSTRUCTION
SCOTT BENNETT
SCOTT@NSCMLLC.COM
PHONE: (970) 390-8022

SURVEYOR QUENON ENGINEERING & SURVEYING
EAGLE, COLORADO 81631
PHONE: (970) 328-5117
PJQUENON@GMAIL.COM

STRUCTURAL ENGINEER NEWKIRK ENGINEERING, INC
PAUL NEWKIRK
PHONE: (252) 274-3105
NEWKIRK56@GMAIL.COM

SOILS REPORT KUMAR & ASSOCIATES
5020 COUNTY ROAD 154
GLENWOOD SPRINGS, CO 81601
PHONE: (970) 945-7988
DYOUND@KUMARUSA.COM

GENERAL PROJECT INFO :

PROJECT SUMMARY:
NEW CONSTRUCTION - SINGLE FAMILY RESIDENCE

FLOOR AREAS SUMMARY:

PRIMARY RESIDENCE:	
MAIN LEVEL HABITABLE	1,715 S.F.
UPPER LEVEL HABITABLE	619 S.F.
TOTAL HABITABLE	2,334 S.F.
GARAGE	576 S.F.
MECHANICAL	211 S.F.
TOTAL FLOOR AREA	3,121 S.F.

SITE AREAS SUMMARY:

MAIN LEVEL / GARAGE FOOTPRINT	2,346 S.F.
DRIVEWAY	1,287 S.F.
PATIOS, WALKS, DECK	616 S.F.
TOTAL ALL IMPERVIOUS	4,249 S.F.

SITE SUMMARY:

TOTAL BUILDING SITE COVERAGE	2,346 SF/.531 ACRES OR 23,130 SF = 10.1%
TOTAL IMPERVIOUS VS. LOT SIZE	4,249 SF/.5383 ACRES OR 23,130 SF = 18.4%

BUILDING HEIGHT:

MAXIMUM BUILDING HEIGHT = 30'-6"
(6758.5' USGS - 6728.0' USGS = 30.5')

DRAWING INDEX

- A0.0 COVER SHEET
- A1.0 ORIGINAL TOPO
- A1.1 SITE PLAN
- A2.1 FOUNDATION/ MECHANICAL PLAN
- A2.2 MAIN LEVEL FLOOR PLAN
- A2.3 UPPER LEVEL FLOOR PLAN
- A2.4 ROOF PLAN
- A3.1 EXTERIOR ELEVATION
- A3.2 EXTERIOR ELEVATION



VICINITY MAP:

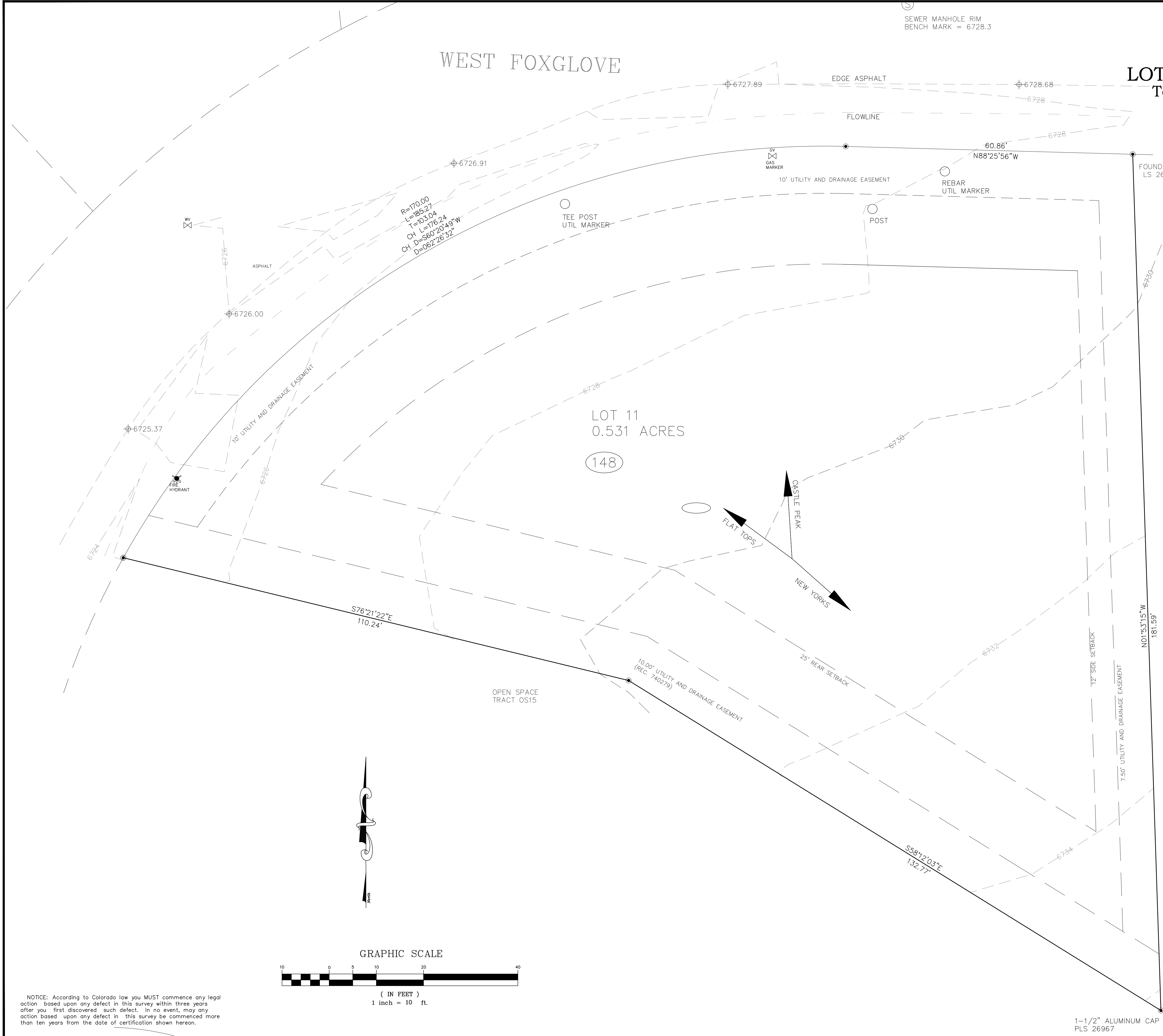
Maggie T. Fitzgerald, AIA
architects
P.O. Box 1328 Eagle, Colorado 81631
970.445.0486

CABEEN GARBARINO RESIDENCE
148 W. FOXGLOVE LN
LOT 11, B7, F4, EAGLE RANCH "MEADOWS"
EAGLE, COLORADO 81631

issue:	DRB PREDESIGN	date:	NOV. 11, 2024
	DRB PRELIMINARY DESIGN		NOV. 27, 2024

A0.0
COVER SHEET

TOPOGRAPHIC SURVEY
148 W FOXGLOVE LN
LOT 11, BLOCK 7, EAGLE RANCH FILING 4
 Town of Eagle, County of Eagle, State of Colorado



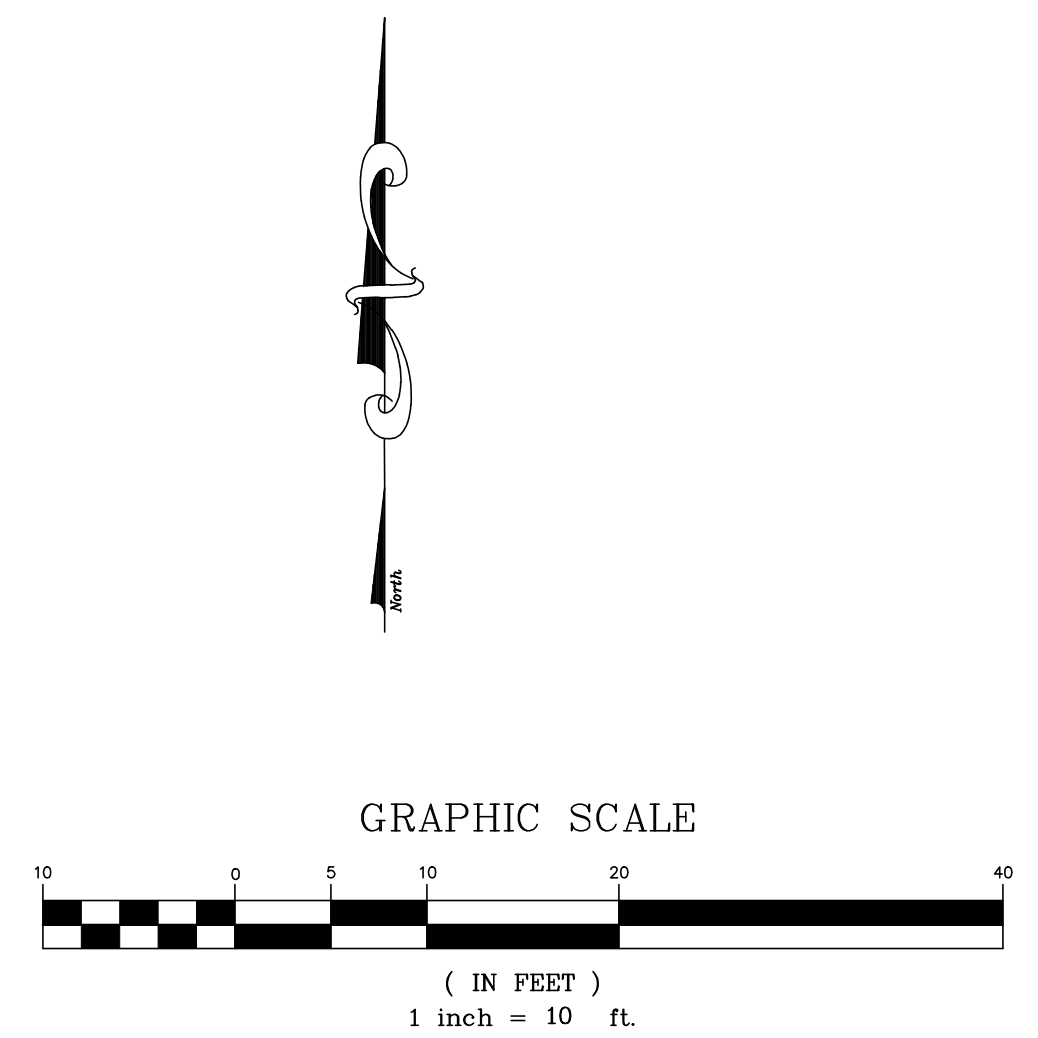
LEGAL DESCRIPTION
 LOT 11, EAGLE RANCH FILING NO. 4, TOWN OF EAGLE, EAGLE COUNTY, COLORADO

NOTES:
 1) CONTOUR INTERVAL: 2-FOOT.
 2) THIS TOPOGRAPHIC MAP DOES NOT REPRESENT A MONUMENTED SURVEY, LAND SURVEY PLAT, OR IMPROVEMENT SURVEY PLAT.

I, PATRICK J. QUENON, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THIS TOPOGRAPHIC SURVEY WAS DONE BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT IT WAS PERFORMED USING THE STANDARD CARE AND PRACTICE USED IN THE AREA AT THE TIME OF THE SURVEY. THE NOTES HEREON ARE A PART OF THIS CERTIFICATION.



PATRICK J. QUENON, PLS 37924
 COLORADO PROFESSIONAL
 LAND SURVEYOR



NOTICE: According to Colorado law you MUST commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

QUENON ENGINEERING AND SURVEYING, LLC
 P.O. BOX 151, EAGLE, COLORADO, 81631
 (970) 328-5117,

TOPOGRAPHIC SURVEY
 LOT 11, EAGLE RANCH FILING NO. 4
 Town of Eagle, County of Eagle, State of Colorado

DRAWN BY: PJQ	DATE: 2-29-24
CHECKED BY: JOM	148_W_FOXGLOVE

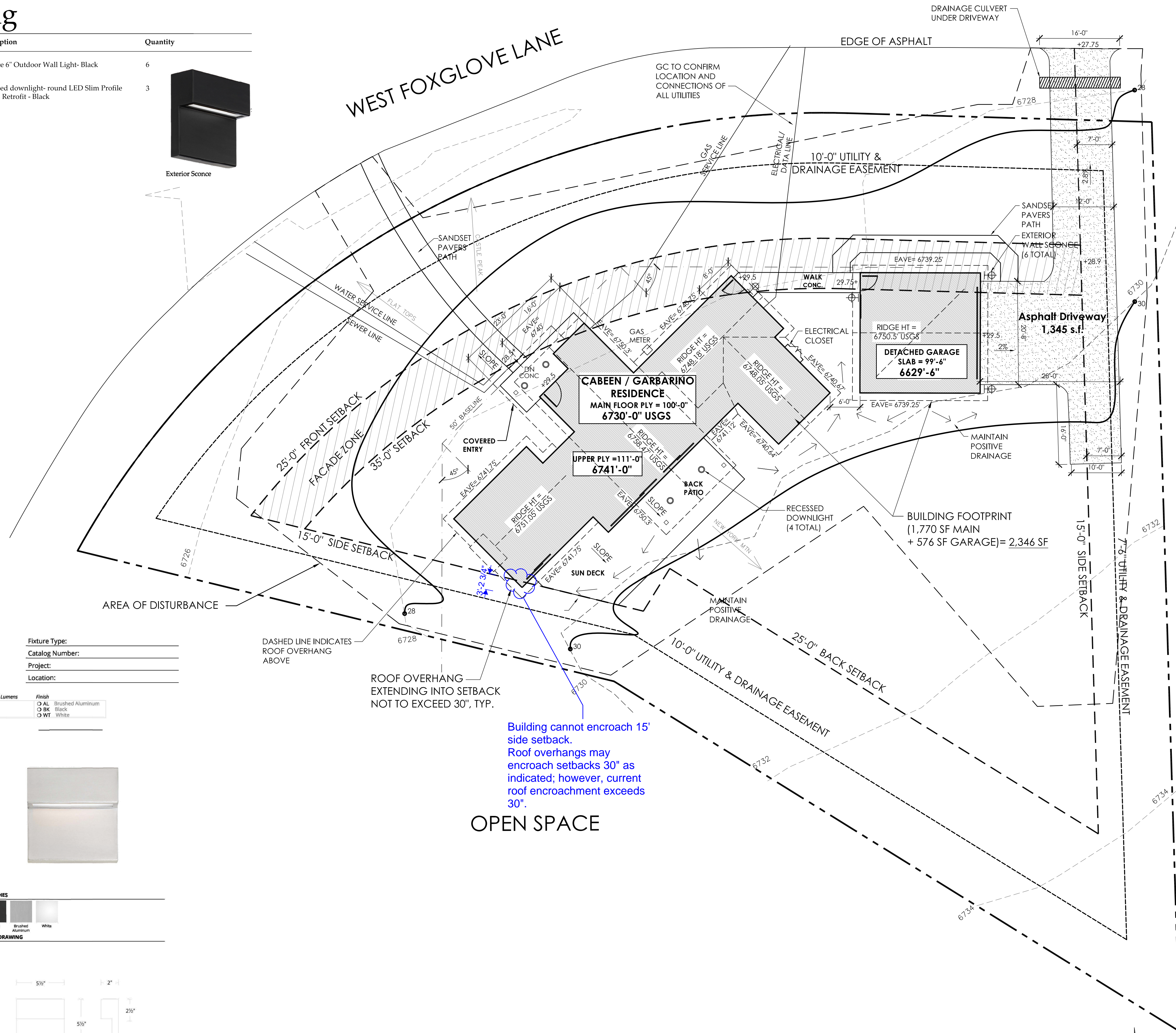
1-1/2" ALUMINUM CAP
 PLS 26967

Exterior Lighting

Symbol	Manufacturer	Description	Quantity
	Wac Lighting- WS-W25106-30-BK	Balance 6" Outdoor Wall Light- Black	6
	Liteline -SLM44"	Recessed downlight- round LED Slim Profile Recess Retrofit - Black	3



Exterior Sconce



WAC LIGHTING

Balance Outdoor Wall Sconce

Model & Size	Color Temp & CRI	Watt	LED Lumens	Delivered Lumens	Finish
WS-W25106 6"	3000K 90	11W	307	130	AL Brushed Aluminum
	3500K 90	11W	352	146	BK Black
	4000K 90	11W	314	127	WT White

Example: WS-W25106-30-AL

DESCRIPTION

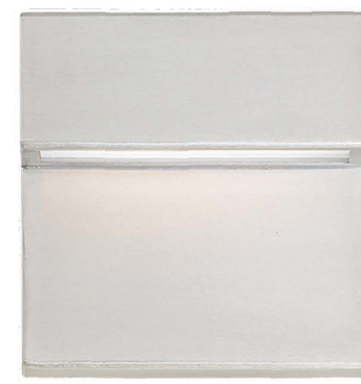
Functional style. Hang out with light.

FEATURES

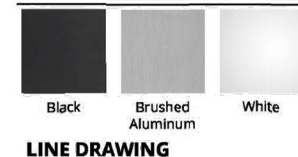
- 9CCT (3000K/3500K/4000K) selectable switch
- ACLED driverless technology
- 5 year warranty

SPECIFICATIONS

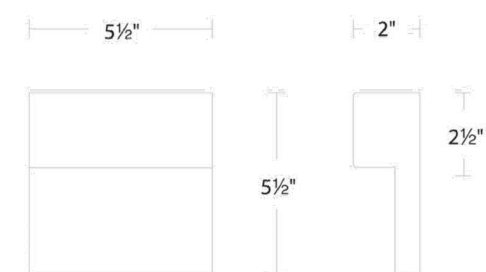
Color Temp: 3000K, 3500K, 4000K
 Input: 120 VAC, 50/60Hz
 CRI: 90
 Dimming: ELV: 100-10%, TRIAC: 100-10%
 Rated Life: 54000 Hours
 Mounting: Can be mounted on wall in all orientations
 Standards: ETL, CETL, IP65, Title 24: 2019
 Wet Location Listed
 Construction: Aluminum body, tempered glass diffuser



FINISHES



LINE DRAWING



Fixture Type: _____
 Catalog Number: _____
 Project: _____
 Location: _____

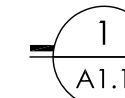
DASHED LINE INDICATES ROOF OVERHANG ABOVE

ROOF OVERHANG EXTENDING INTO SETBACK NOT TO EXCEED 30", TYP.

Building cannot encroach 15' side setback. Roof overhangs may encroach setbacks 30" as indicated; however, current roof encroachment exceeds 30".

OPEN SPACE

SITE PLAN



SCALE: 1" = 10'-0"

ADJACENT EXISTING STRUCTURE

CABEEN GARBARINO RESIDENCE

148 W. FOXGLOVE LN
 LOT 11, B7, F4, EAGLE RANCH "MEADOWS"
 EAGLE, COLORADO 81631

ISSUE:	DATE:
DRB PREDESIGN	NOV. 11, 2024
DRB PRELIMINARY DESIGN	NOV. 27, 2024

A1.1

SITE PLAN

Maggie T. Fitzgerald, AIA
 architects
 P.O. Box 1328 Eagle, Colorado 81631
 970.445.0486

Exterior Lighting Worksheet – Eagle Ranch Design Review

Filing/Block/Lot: Filing 4/ Block 7/ Lot 11 Address: 148 West Foxglove Lane

Luminaire (Fixture) Location	Luminaire (Fixture) Data		Lamp (Bulb) Data				Lumens by Luminaire Type		
	Brand/Model # - Attach Manufacturer Cut Sheet(s)	Qty	Lamp Type	Lamps per Luminaire	Watts per Lamp	Lumens per Lamp	Unshielded Luminaires ³	IDA Certified Luminaires ^{4,5}	Switch Type ⁶
All Exterior Doors	WAC Lighting- WS-W25160-30-BK- Balance Outdoor Sconce	6	LED	1	11	352			
Entry Porch/ Covered Patio	Liteline- SLM44- Recessed Downlight	3	LED	1	9	630			
Subtotal Lumens by Luminaire Shielding Category (Unshielded or IDA Certified ⁴)							≤ 2,000 lumens		
Total Lumens all Luminaire Categories (not to exceed 5,500 Lumens)								4,002	≤ 5,500 lumens

Prepared by: Maggie Fitzgerald Architects Date: 12/02/24
 Owner Signature: _____ Date: _____
 Print Name: Maggie T. Fitzgerald

- Notes:
- Lamp (Bulb) Type = Incandescent (I), Compact Fluorescent (CFL), Low-voltage Halogen (LV), Light Emitting Diode (LED), etc.
 - Watts as marked on lamp.
 - Lumen comparisons for lamp types. General retail outlets (i.e. grocery, hardware store, etc.) may not carry all wattages. Consider specialty stores or internet sources.

Typical Lumens/Lamp ² :		Compact Fluorescent		Lo-Voltage Halogen		
Watts	Lumens	Watts	Lumens	Lamp Base	Watts	Lumens
25	200	5	200	G4	5	55
40	500	8-10	450	G4	10	140
60	800-890	13-18	890	G4	20	320
75	1080-1200	18-22	1210	G6Y.35	35	600
100	1420-1750	23-28	1750	G6Y.35	50	950

- The International Dark-Sky Association (<http://www.darksky.org>) certifies luminaires that minimize glare, reduce light trespass, and don't pollute the night sky.
- Luminaire Shield Category is Unshielded unless specifically certified with International Dark-Sky Association Fixture Seal of Approval.
- Switch Type = manual (M), motion detector (MD), photocell (P), rheostat (R), timer (T)

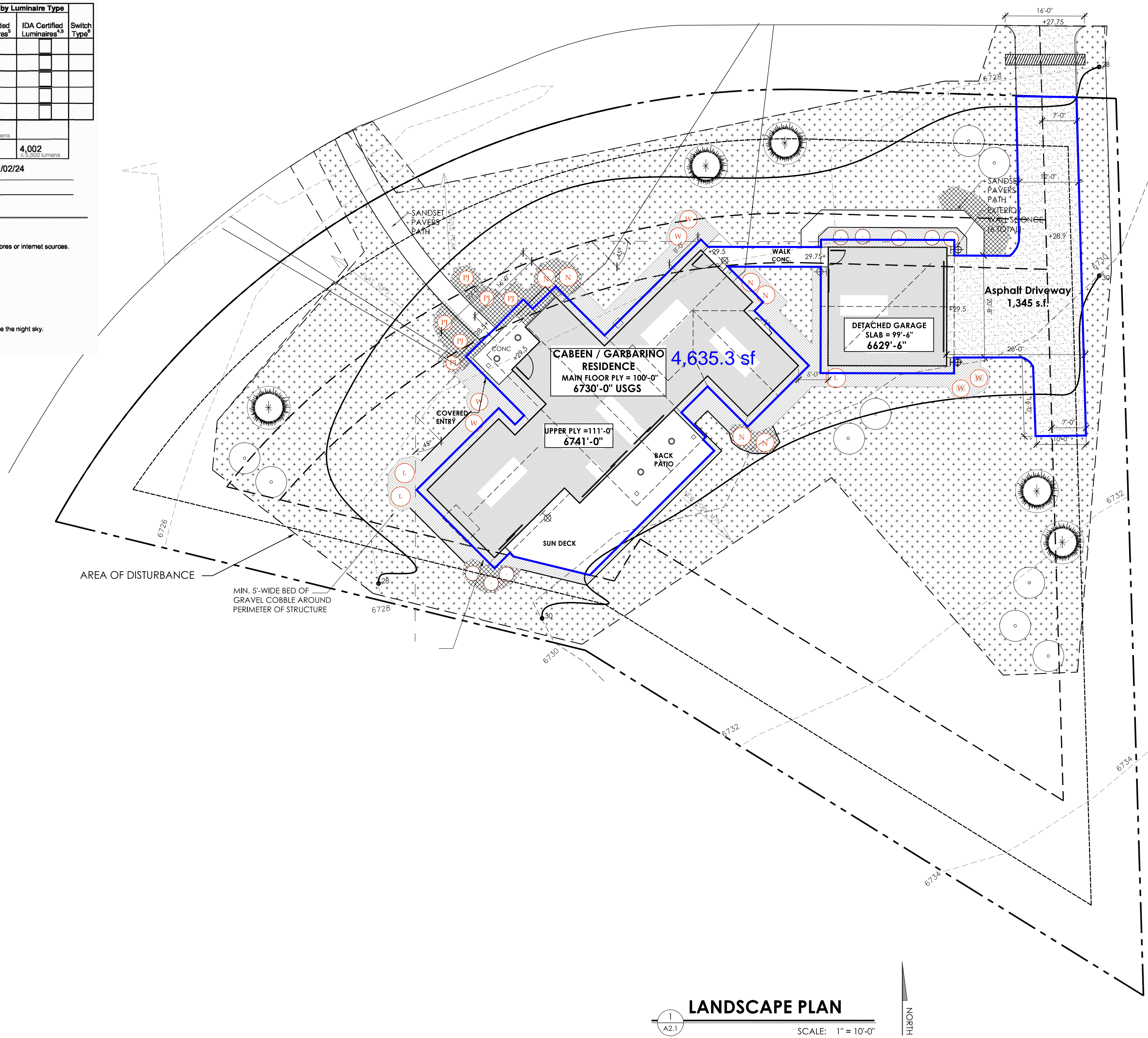
Plant Schedule

Symbol	Common Name	Scientific Name	Flower	Growth Height/Spread	Exposure	Count	Size
	White Fir	Abies concolor	None	30/20'	Sun/Partial	5	8' Ht.
	Quaking Aspen	Populus tremuloides	None	35/25'	Sun	9	2' Cal.
	Buffalo Juniper	Juniperus sabina "Buffalo"	None	1/8'	Sun	6	5 Gal.
	Wood's Rose	Rosa woodsii	Pink	3/3'	Sun/Partial	6	5 Gal.
	Lilac	Syringa vulgaris	Purple	10/8'	Sun/Partial	3	5 Gal.
	New Jersey Tea	Ceanothus americanus	White	4/4'	Sun/Partial	6	5 Gal.
	Prairie Junegrass	Koeleria macrantha	None	2/2'	Sun/Partial	6	5 Gal.
	Mixed Xeriscape Perennials (Minimum of 40)						1 Gal., 18" o.c.
	Gravel Cobble						Sq. Ft.
	Gravel Cobble at beds, drip edge, Owner preference, verify						Sq. Ft.
	SOD - with drip irrigation on automatic timer						791 Sq. Ft.
	Xeriscape Plants and Native Grass Mix to Match Existing Grasses (Irrigated for the first two years)						All Disturbed Areas

Irrigation Chart

Install underground automatic timer controlled irrigation system per Cotton Ranch Design Guidelines Section 4.10

Total Irrigated Area for 2 full seasons:	8,599 Re-Veg s.f. x 1 = 8,599 s.f. (37.2% of Lot Area)
Drip Irrigation s.f. + Re-Veg areas s.f.	434 Drip s.f. x 0.6 = 261 s.f. (1.1% of Lot Area)
	Total = 8,860 s.f.
Total Irrigated Area following first 2 seasons:	434 Drip s.f. x 0.6 = 261 s.f. (1.1% of Lot Area)
Drip Irrigation s.f.	Total = 261 s.f.



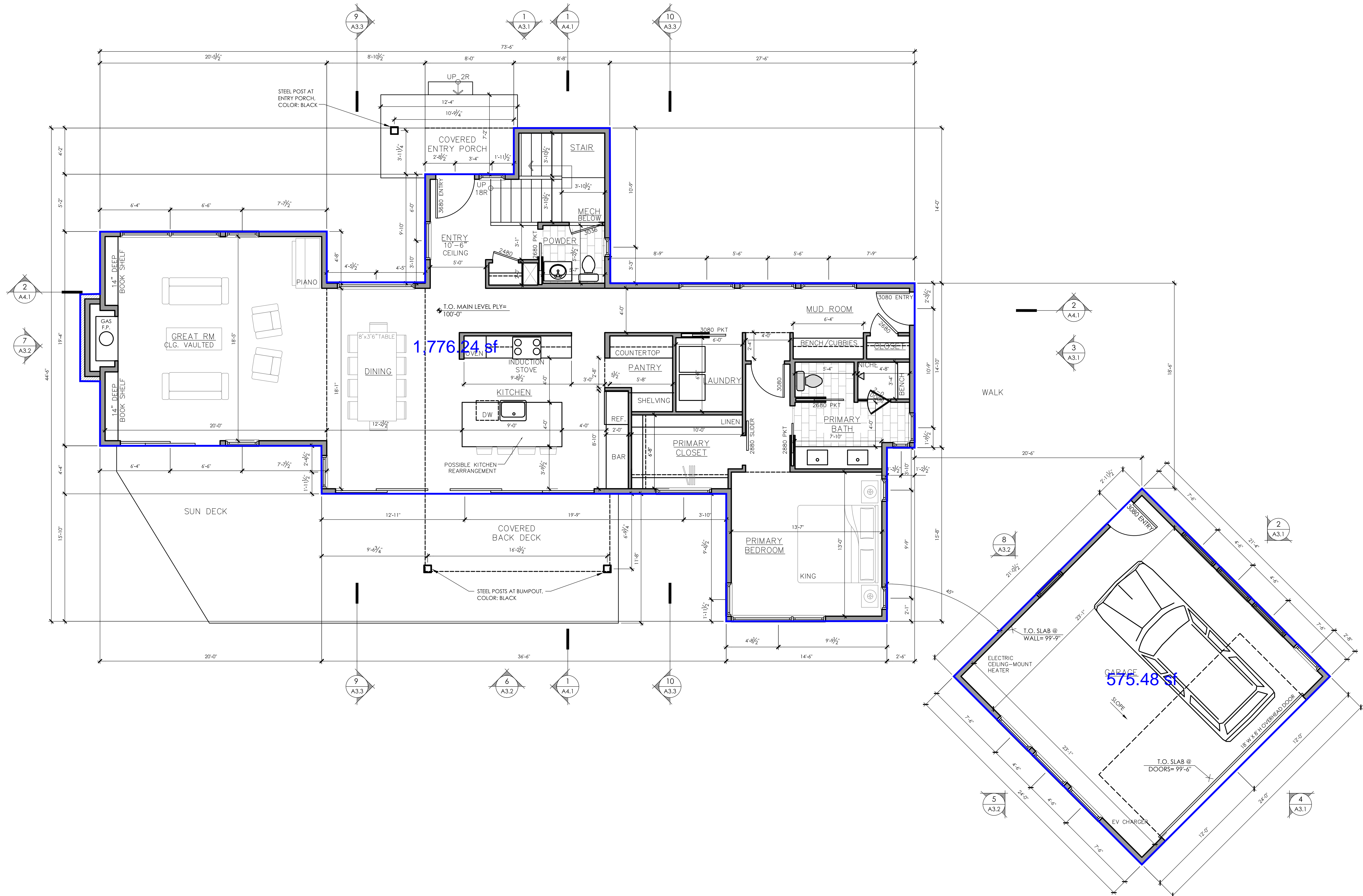
LANDSCAPE PLAN
 SCALE: 1" = 10'-0"

Maggie T. Fitzgerald, AIA
 architects
 P.O. Box 1328 Eagle, Colorado 81631
 970.445.0486

CABEEN GARBARINO RESIDENCE
 148 W. FOXGLOVE LN
 LOT 11, B7, F4, EAGLE RANCH "MEADOWS"
 EAGLE, COLORADO 81631

ISSUE:	DATE:
DRB PREDESIGN	NOV. 11, 2024
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A1.2
 LANDSCAPE PLAN



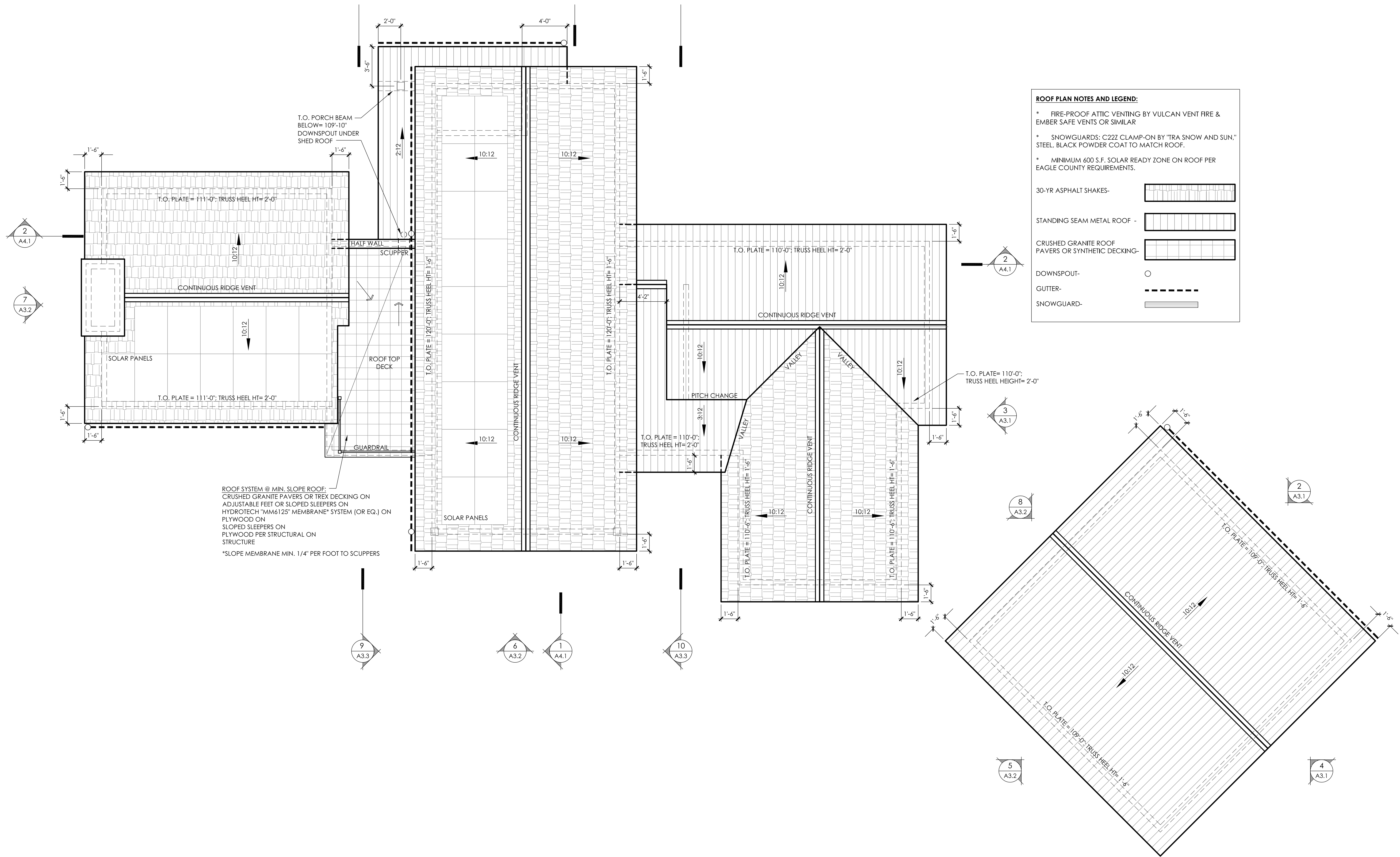
1
A2.2
MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"
NORTH

Maggie T. Fitzgerald, AIA
architects
P.O. Box 1328 Eagle, Colorado 81631
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A2.2
MAIN LEVEL
FLOOR PLAN



ROOF PLAN NOTES AND LEGEND:

- * FIRE-PROOF ATTIC VENTING BY VULCAN VENT FIRE & EMBER SAFE VENTS OR SIMILAR
- * SNOWGUARDS: C22Z CLAMP-ON BY "TRA SNOW AND SUN," STEEL, BLACK POWDER COAT TO MATCH ROOF.
- * MINIMUM 600 S.F. SOLAR READY ZONE ON ROOF PER EAGLE COUNTY REQUIREMENTS.

30-YR ASPHALT SHAKES- [Symbol]

STANDING SEAM METAL ROOF - [Symbol]

CRUSHED GRANITE ROOF PAVERS OR SYNTHETIC DECKING- [Symbol]

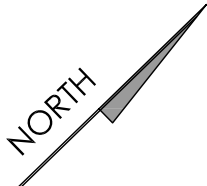
DOWNSPOUT- [Symbol]

GUTTER- [Symbol]

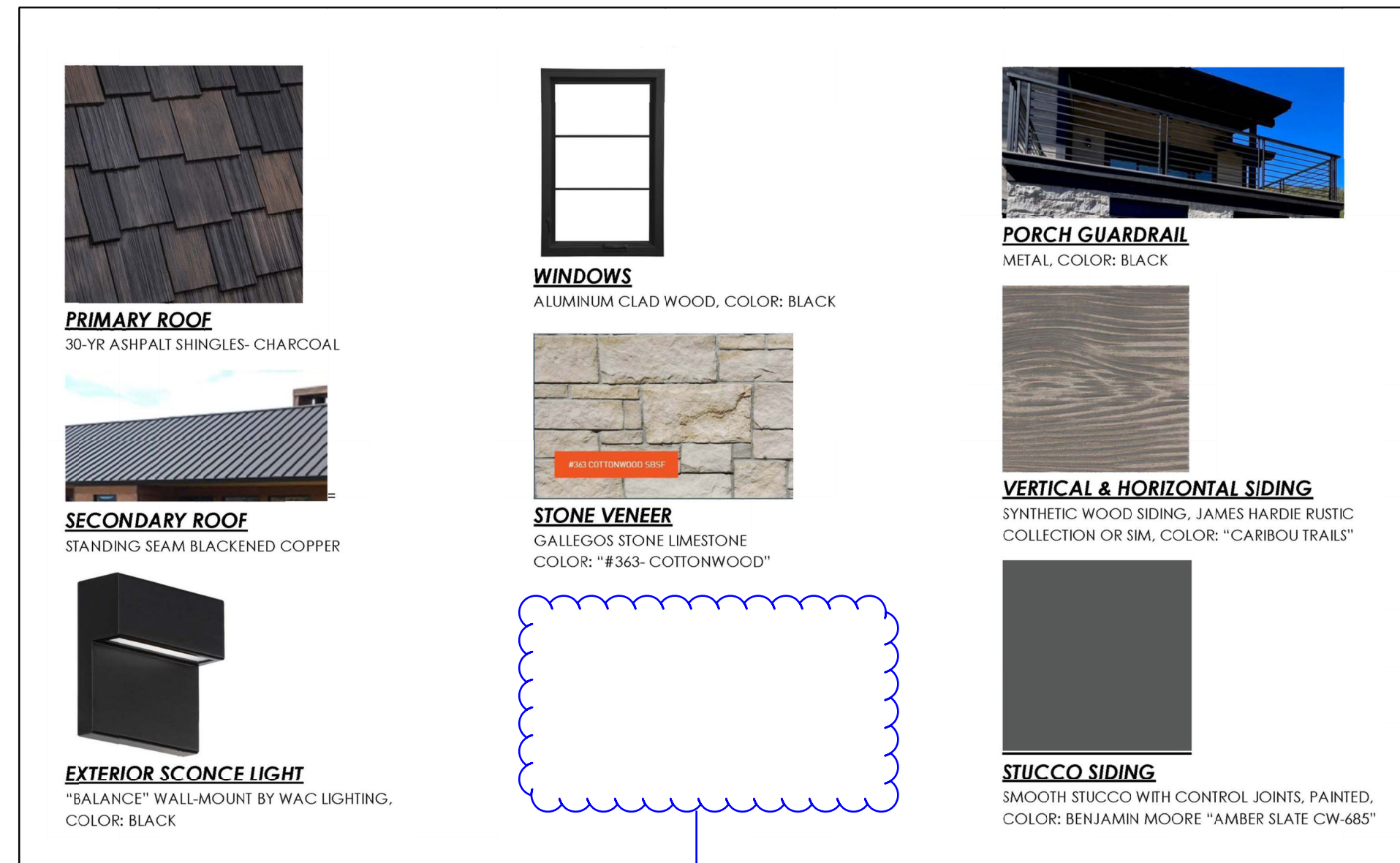
SNOWGUARD- [Symbol]

ROOF SYSTEM @ MIN. SLOPE ROOF:
 CRUSHED GRANITE PAVERS OR TREX DECKING ON
 ADJUSTABLE FEET OR SLOPED SLEEPERS ON
 HYDROTECH "MM6125" MEMBRANE* SYSTEM (OR EQ.) ON
 PLYWOOD ON
 SLOPED SLEEPERS ON
 PLYWOOD PER STRUCTURAL ON
 STRUCTURE
 *SLOPE MEMBRANE MIN. 1/4" PER FOOT TO SCUPPERS

1
A2.4
ROOF PLAN
SCALE: 1/4" = 1'-0"

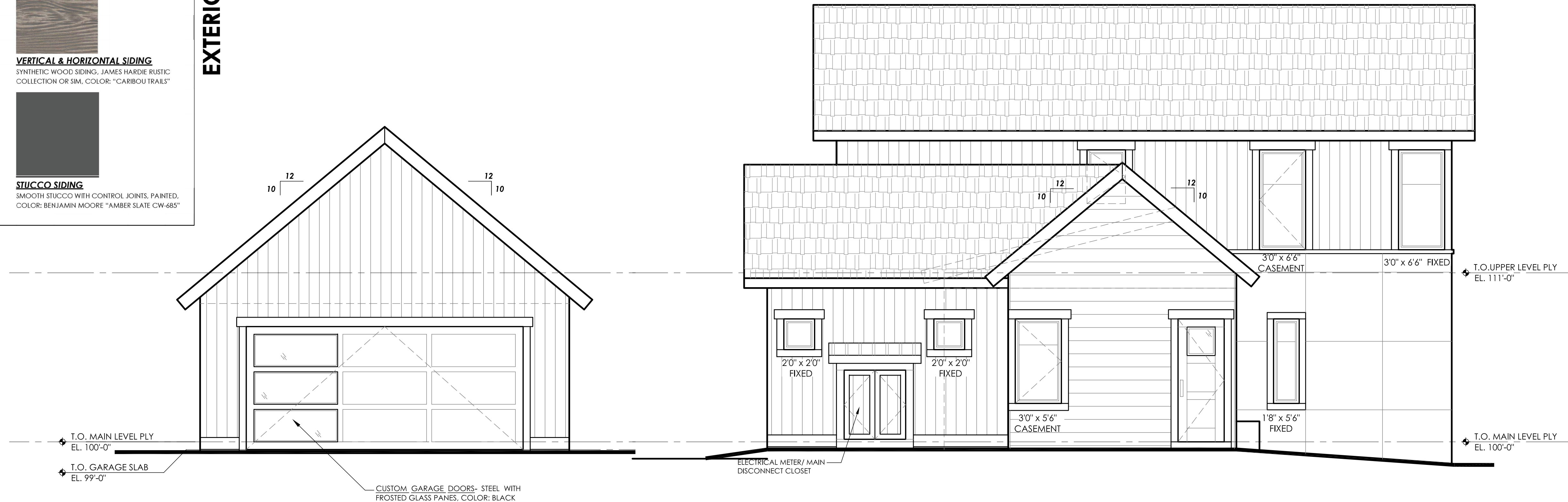


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Specify trim and fascia materials/colors.

EXTERIOR MATERIALS

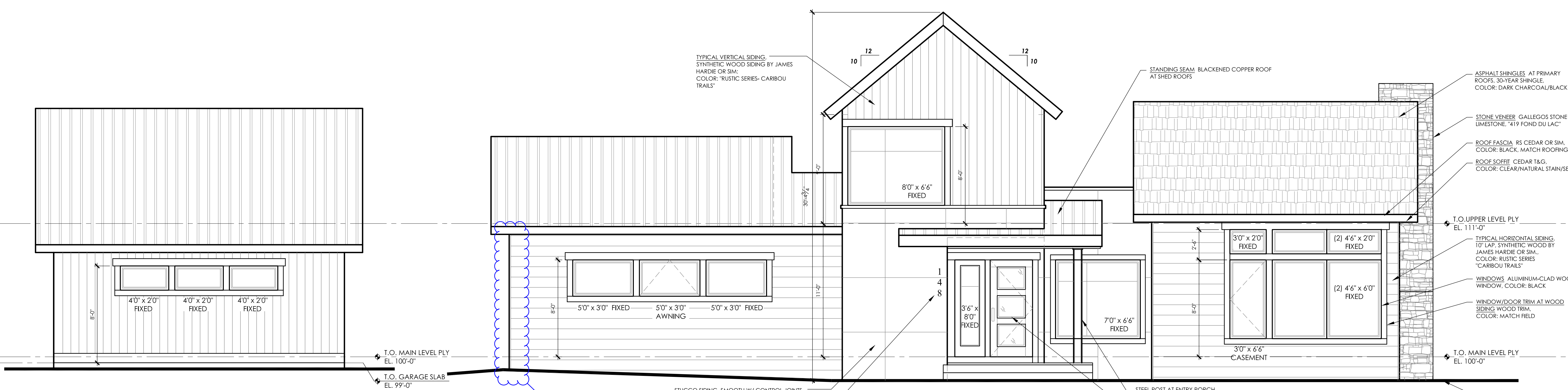


4 GARAGE EAST ELEVATION

A3.1 SCALE: 1/4" = 1'-0"

3 SIDE/ EAST ELEVATION

A3.1 SCALE: 1/4" = 1'-0"



2 GARAGE NORTH ELEVATION

A3.1 SCALE: 1/4" = 1'-0"

1 ENTRY/ NORTH ELEVATION

A3.1 SCALE: 1/4" = 1'-0"

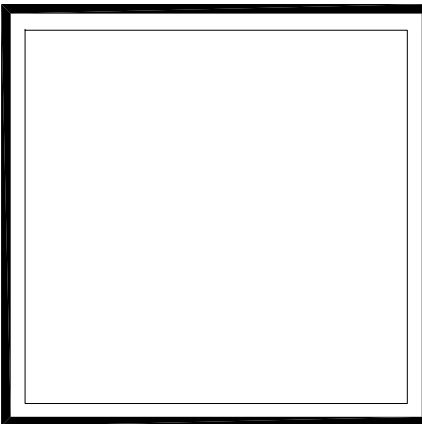
7.2.3(a) Corner boards should be provided with shingle, wood (or simulated wood) siding. (typical)

Maggie T. Fitzgerald, AIA
a r c h i t e c t s
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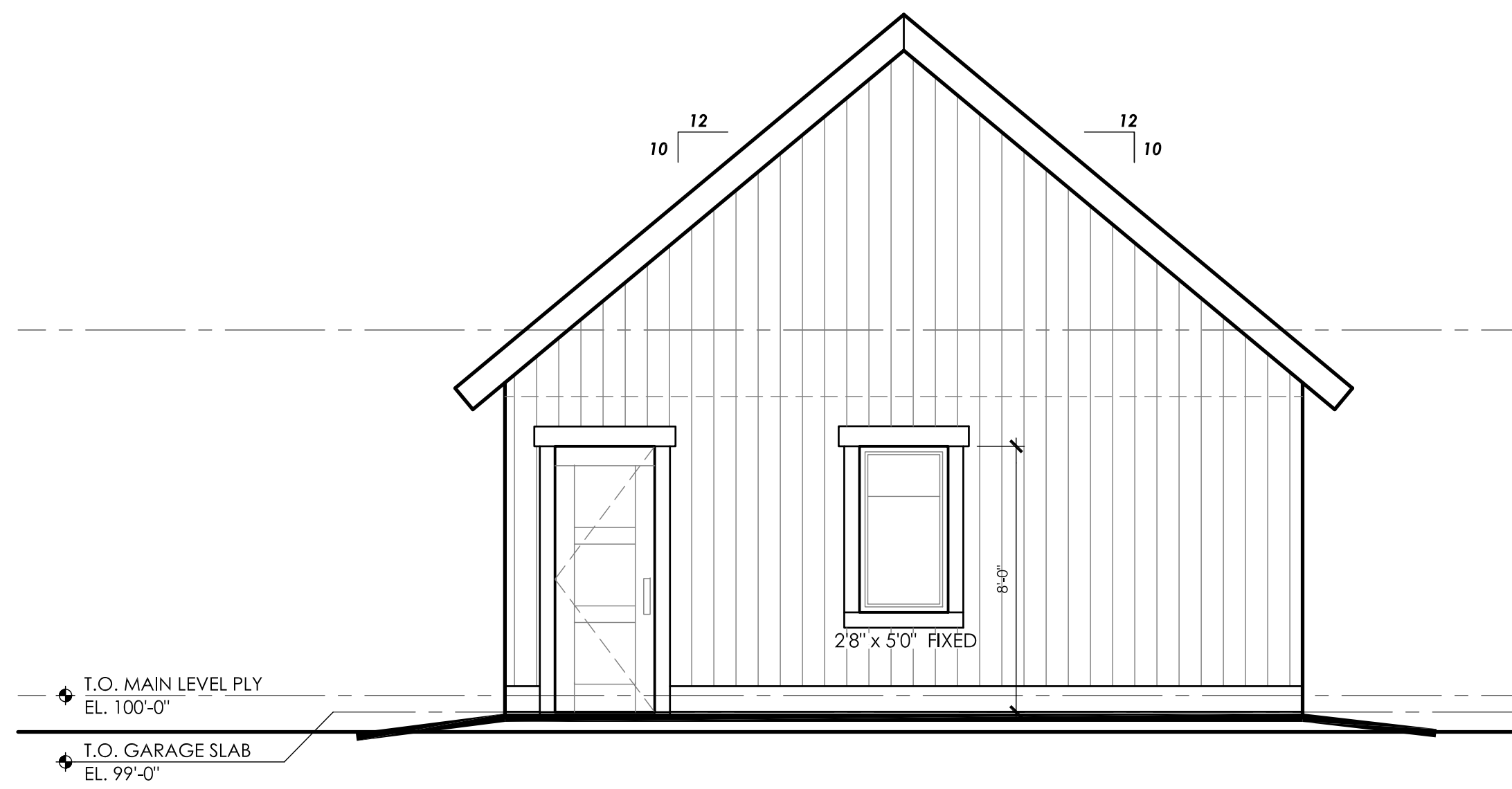
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DRB PRELIMINARY DESIGN	

A3.1
RESIDENCE ELEVATIONS



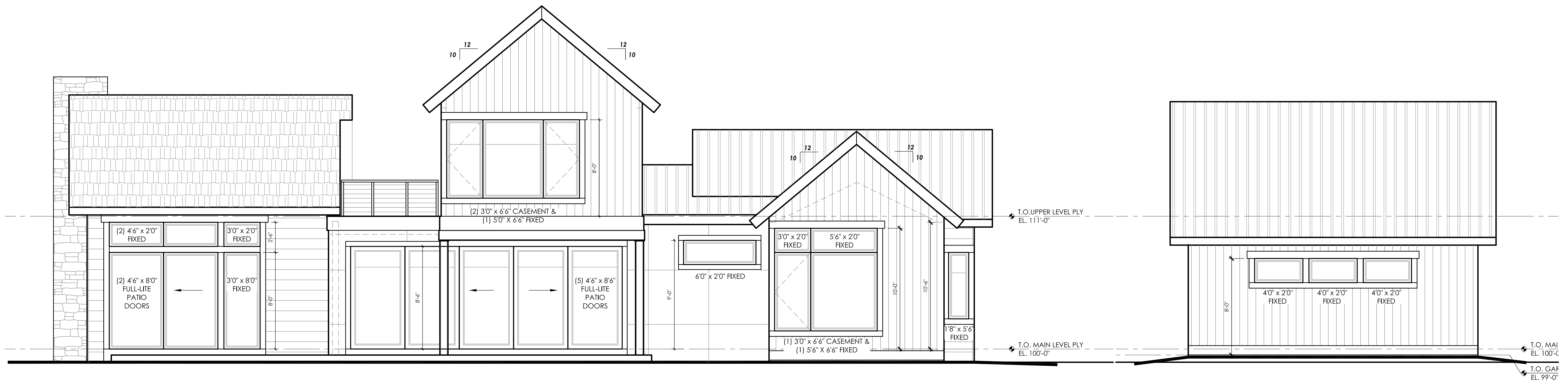
date:	NOV. 11, 2024
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DRB PREDESIGN	
DRB PRELIMINARY DESIGN	



8 GARAGE WEST ELEVATION
 SCALE: 1/4" = 1'-0"

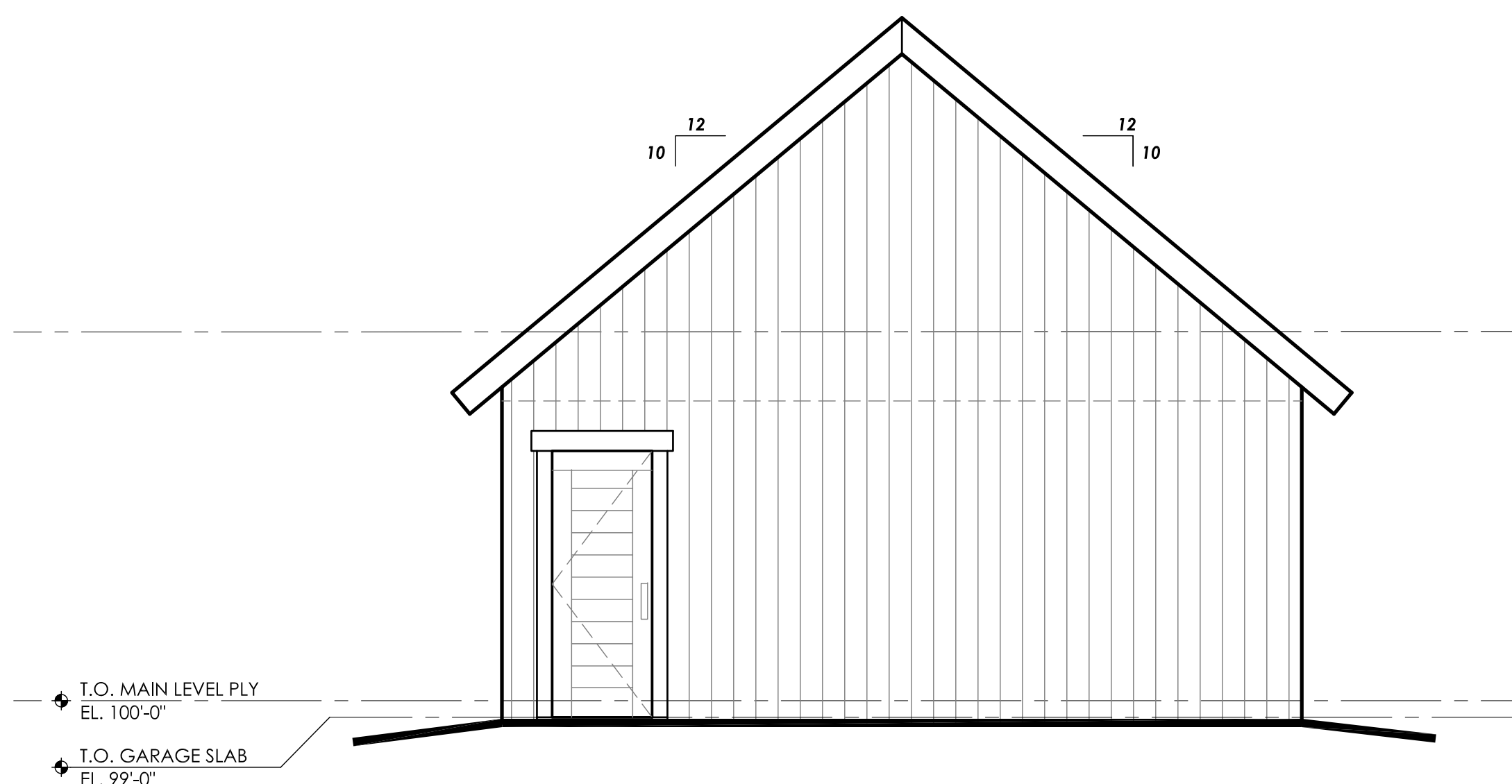


7 SIDE/ WEST ELEVATION
 SCALE: 1/4" = 1'-0"



6 BACK/ SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

5 GARAGE SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



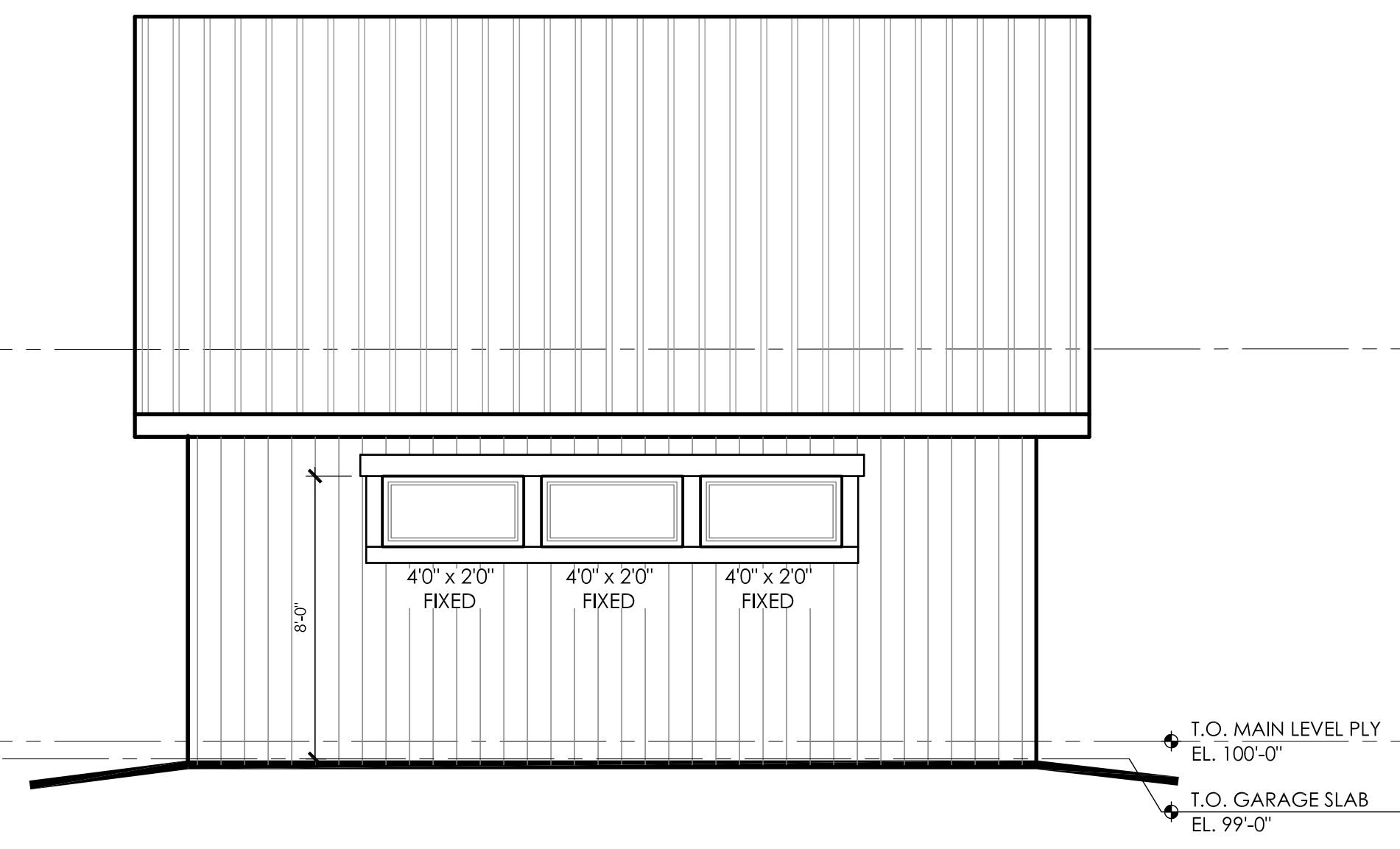
8 GARAGE WEST ELEVATION
 A3.2 SCALE: 1/4" = 1'-0"



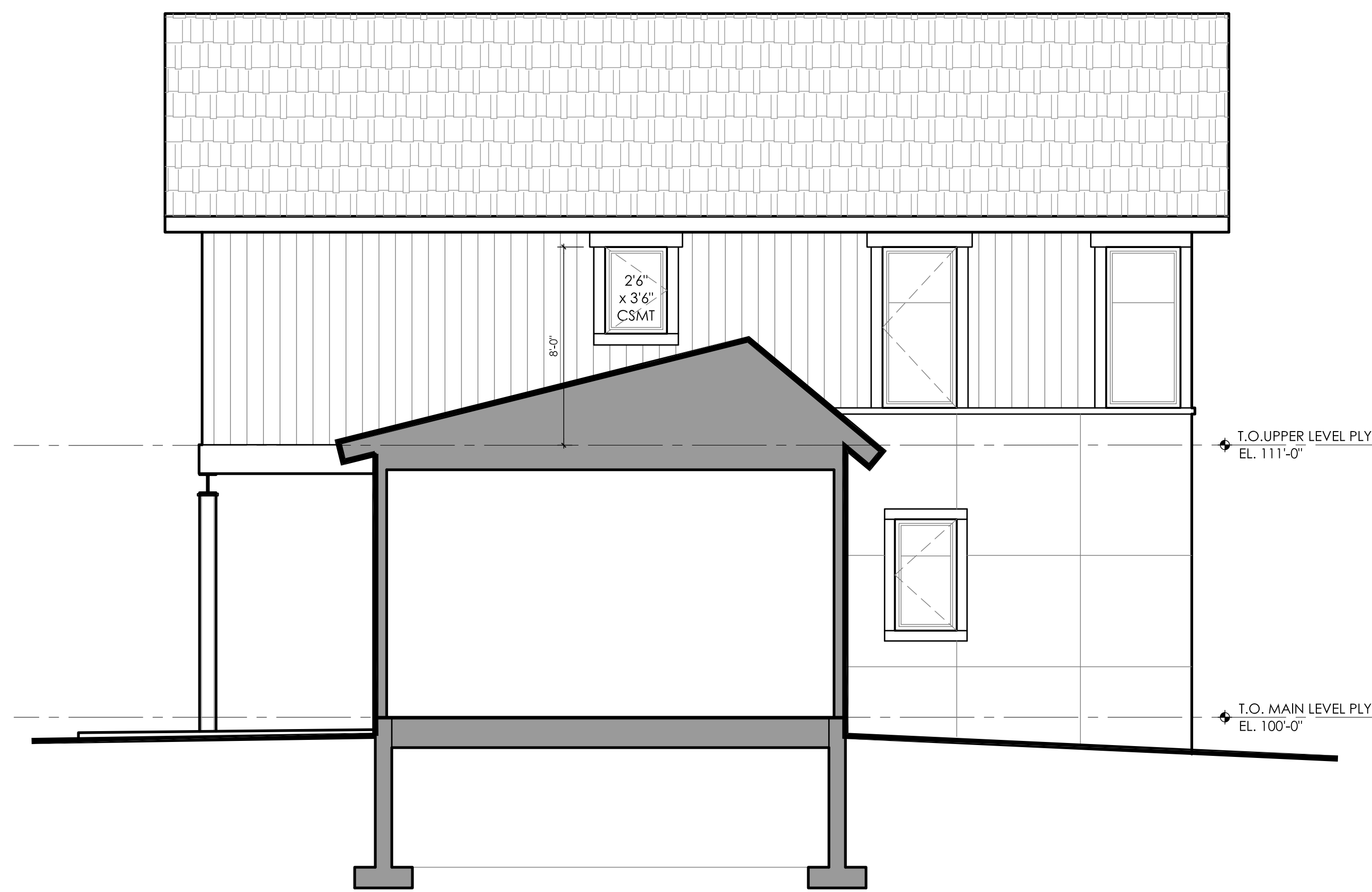
7 SIDE/ WEST ELEVATION
 A3.2 SCALE: 1/4" = 1'-0"



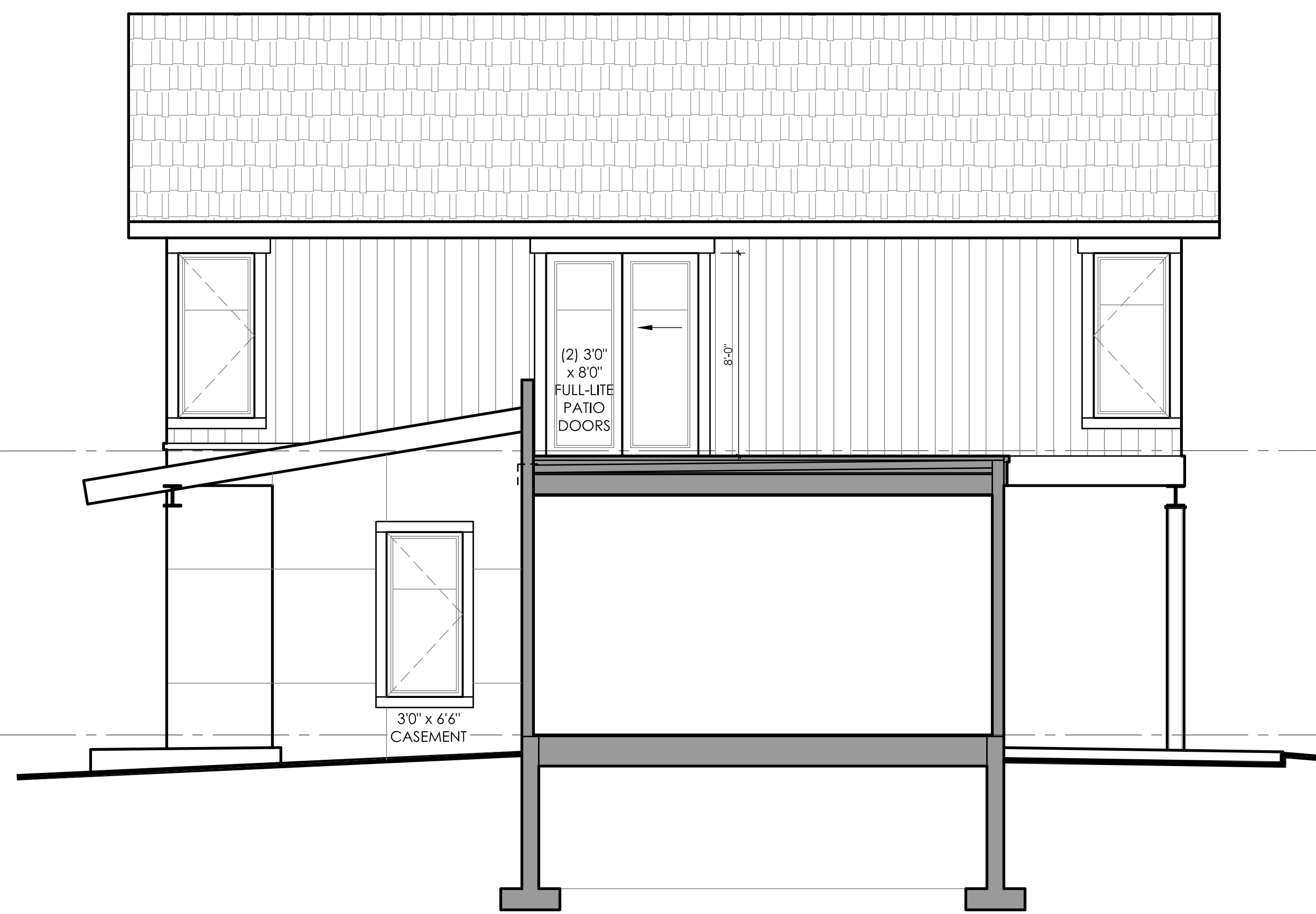
6 BACK/ SOUTH ELEVATION
 A3.2 SCALE: 1/4" = 1'-0"



5 GARAGE SOUTH ELEVATION
 A3.2 SCALE: 1/4" = 1'-0"



10
A3.3 **PARTIAL EAST ELEVATION**
SCALE: 1/4" = 1'-0"



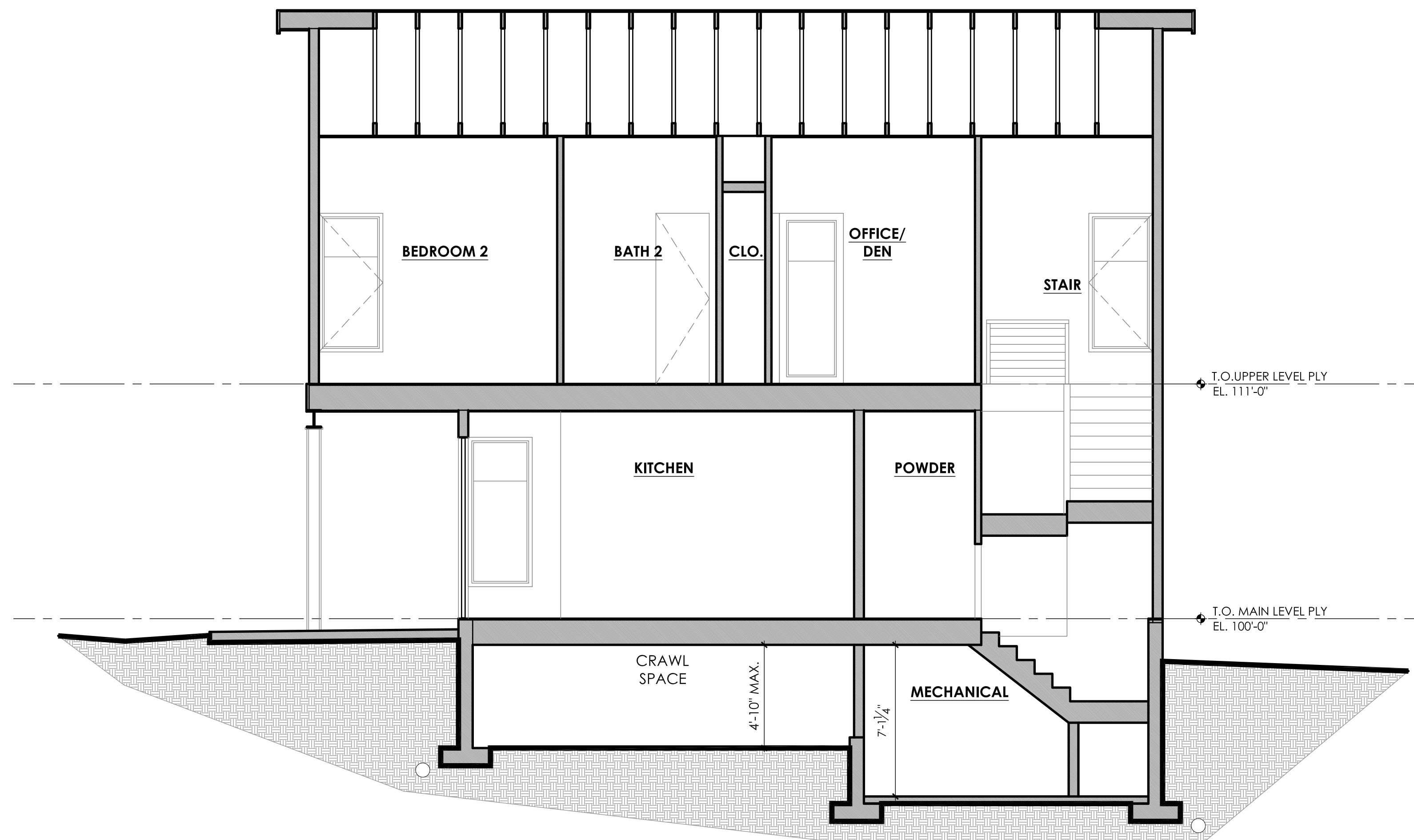
9
A3.3 **PARTIAL WEST ELEVATION**
SCALE: 1/4" = 1'-0"

Maggie T. Fitzgerald, AIA
a r c h i t e c t s
P.O. Box 1328 Eagle, Colorado 81631
970.445.0466

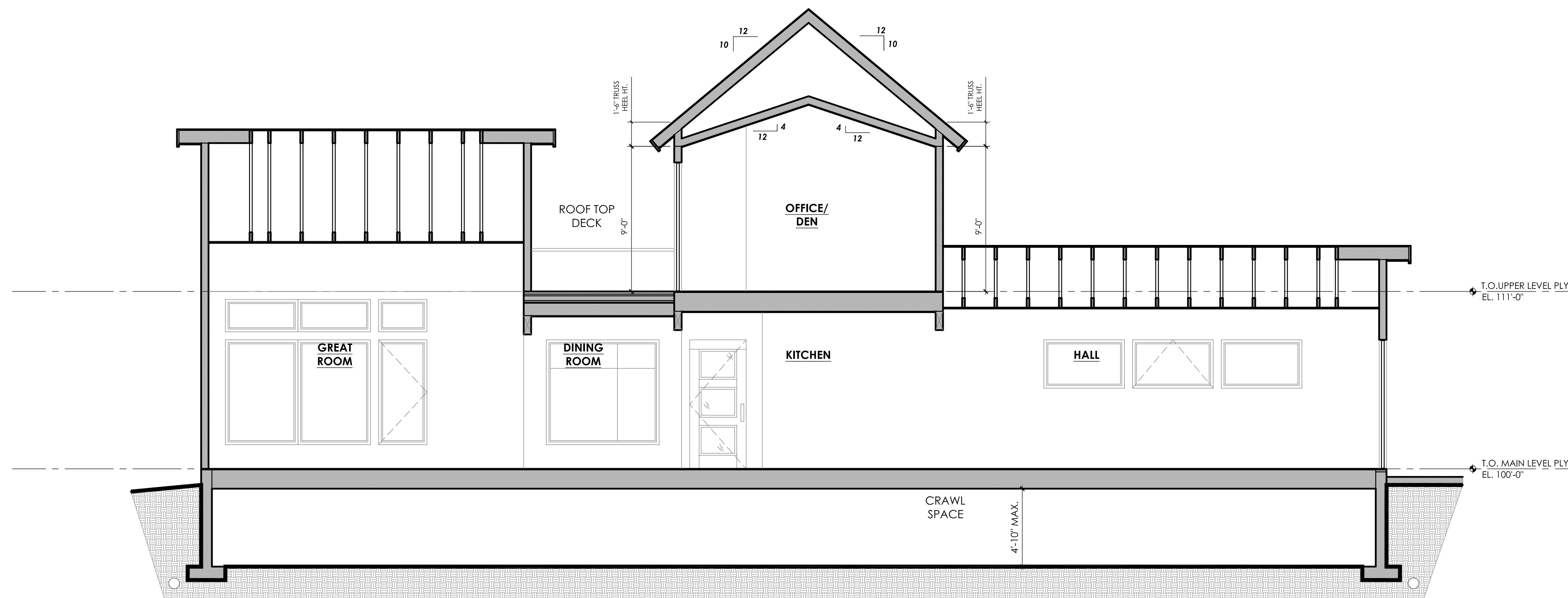
CABEN GARBARINO RESIDENCE
148 W. FOXGLOVE LN
LOT 11, B7, F4, EAGLE RANCH "MEADOWS"
EAGLE, COLORADO 81631

Issue:	DRB PREDESIGN	date:	NOV. 11, 2024
	PROGRESS SET		NOV. 21, 2024

A3.3
EXTERIOR
ELEVATIONS

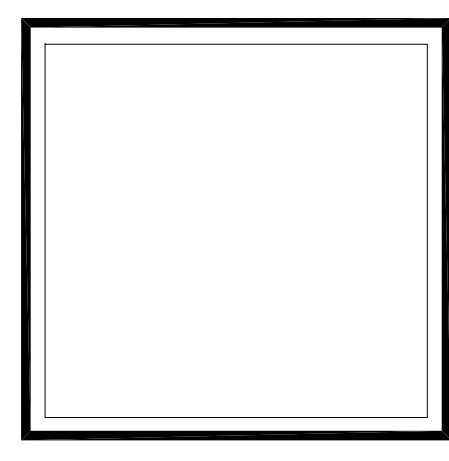


2
A4.1 **NORTH SOUTH SECTION**
SCALE: 1/4" = 1'-0"



1
A4.1 **EAST- WEST SECTION**
SCALE: 1/4" = 1'-0"

Maggie T. Fitzgerald, AIA
architects
P.O. Box 1328 Eagle, Colorado 81631
970.445.0486



CABEEN GARBARINO RESIDENCE
148 W. FOXGLOVE LN
LOT 11, B7, F4, EAGLE RANCH "MEADOWS"
EAGLE, COLORADO 81631

ISSUE:	DATE:
DRB PREDESIGN	NOV. 11, 2024
DRB PRELIMINARY DESIGN	NOV. 27, 2024

A4.1
RESIDENCE
ELEVATIONS

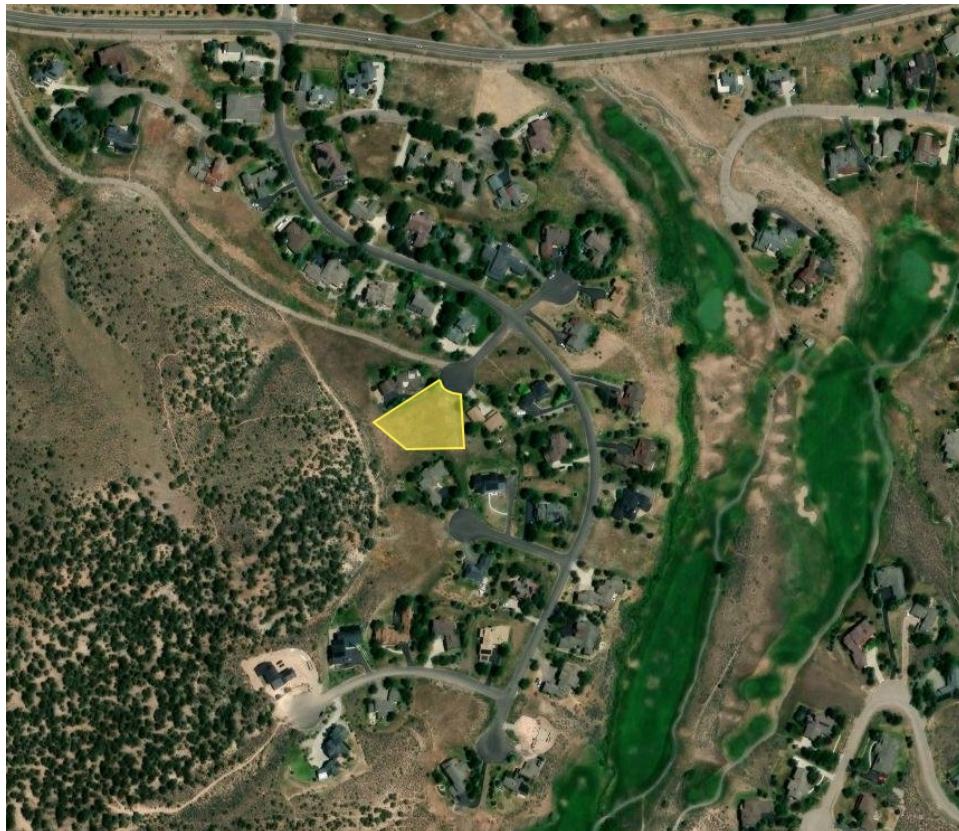


Design Review Memorandum

Project Number: 03-03-56
Owner Name: Brad, Maria and Evan Wright
Architect: Krueger Architecture
Address: 36 West Dewey Park Place
Legal: EAGLE RANCH FILING 3 Block: 3 Lot: 56
Preliminary DRB Meeting Date: October 17, 2024
Final DRB Meeting Date: December 19, 2024

PROJECT OVERVIEW

- Lot Size: 28,227 sf
- Accessory Dwelling Unit: No
- Slopes in Excess of 30%: No
- Design Guidelines: Uplands
- Style: Craftsman
- Fire Suppression System: Refer to GERFPD for fire suppression requirements



LIMITATIONS

Standard	Allowed	Proposed
Floor Area Maximum	7,000 sf	6,104 sf
Floor Area Minimum	2,000 sf	Complies
Site Coverage	30% = 8,483 sf	4,204 sf
Impervious Area	50% = 14,114 sf	9,152 sf
Height	35 ft	Complies
Setbacks	Front: 35' Sides: 15' Rear: 25'	Complies
Driveway Setback	7.5 ft from side property line	>7.5 ft
Development Disturbance	16,500 sf	N/A
Fenced Area	15% = 4,234 sf	533 sf
Pool Area	5% = 1,411 sf	NA

FINAL PLAN REVIEW – December 19, 2024

1. Site and Landscape Comments

- a. *5.3.3.b(1) A five-foot wide, non-combustible border of washed river cobble must be installed along all portions of the foundation line not otherwise contiguous with pavement or other hardscape.*
- b. AC Unit shown on A2.1 Main Level Plan (NW side) not shown on site/landscape plan.

2. Architecture Comments

- a. Applicant has addressed Preliminary Review DRB comments regarding Craftsman style by including exposed rafter tails and integrating entry columns into stone base wall.
- b. In general, staff find that the architecture is in compliance with the Design Guidelines relative to the Craftsman Style in the Uplands.

3. Staff Recommendation

Staff recommends approval of the Final Plan Review for the Residence with the following conditions:

- a. General Condition: Compliance with the Eagle Ranch Design Guidelines and process is not a substitute for compliance with Town of Eagle regulations, State regulations, or Federal regulations. Additional permits and approvals may be required by these agencies prior to commencing any work on the property. The property owner and its agents are responsible for ensuring compliance with all local, state, and federal regulations.
- b. The applicant shall address the comments provided in this staff memorandum and any DRB comments prior to submittal for Technical Review.

Preliminary Review Memo from October 17, 2024

1. Site and Landscape Comments

- a. *2.2.3 (2) An element of the structure at least 24 feet wide must be placed between 35 feet and 50 feet from the front property line. Cul-de-sac and "flag-lot" homesites may require a greater front setback and will be evaluated on an individual basis.*
No portion of the structure is currently shown in the area between 35' and 50' from the front property lines.
Staff request DRB input.
- b. Verify wall height adjacent to dog run. Section shows 3' height, plan indicates 2.5' height.
- c. Clarify how grade change at dog run gate is handled. Are there steps in that area?
- d. For Final Review, include AC and mechanical locations on Landscape Plan to ensure proper screening.
- e. Forthcoming site and landscape Guidelines will require 5' non-combustible cobble border around structure. While not currently required, applicant could consider for Wildfire Defensible Zone 1. Perimeter material not specified on Legend.

2. Architecture Comments

- a. *3.3.2.2 (3) Exposed rafter tails having some ornamental detailing (other variations require board approval) at the end conditions are required at all eave overhangs. Maximum spacing of exposed rafter tails is 48 inches. Tail dimensions should be proportional to the spacing to imply structural adequacy.*
Rafter tails are not indicated on all eave overhangs.
- b. For Final Review, include front porch railings on section drawings along with railing specifics.
- c. *3.3.2.3(3) Front porch roof supports are massive and composed of short tapered, square or grouped-post columns resting on more massive, capped piers that rise uninterrupted from the ground level to above the porch railing level. The piers may extend to the porch roof structure.*
Front porch columns and roof support do not match Uplands Design Guidelines specific to the Craftsman style.
Staff Requests DRB input.
- d. *2.3.2 (2) Modern flat panel metal garage doors may be considered if integrated into the style of the house.*
Provide garage door material and finish specifics. Typically, flat-panel metal garage doors do not integrate as well with the Craftsman style.
Staff Requests DRB input.

3. Staff Recommendation

Staff recommends approval of the Preliminary Plan Review for the Residence with the following conditions:

1. General Condition: Compliance with the Eagle Ranch Design Guidelines and process is not a substitute for compliance with Town of Eagle regulations, State regulations, or Federal regulations. Additional permits and approvals may be required by these agencies prior to commencing any work on the property. The property owner and its agents are responsible for ensuring compliance with all local, state, and federal regulations.
2. The applicant shall address the comments provided in this staff memorandum and any DRB comments prior to submittal for Final Review.
3. Please include the following items in the drawing packet for Final Review:
 - For Final Review: include roof plan on site plan with USGS ridge heights.
 - For Final Review: On site plan, note what contour 100 FFE relates to.
 - For Final Review: include window trim detail and/or specifics.

Minutes from DRB Meeting October 17, 2024

a. 03-03-56 – 0036 West Dewey Park – Wright Residence - Preliminary Review – Krueger Architects

Pavan provided a brief overview and discussed the overly steep site. 10% grade for main portion of the driveway. Sitting at natural grade with all elements.

The DRB provided the following comments:

1. How can you break the feel of the two-story residence down through other elements? Change roof slope? Extend roof of car-port roof to provide the relief? Break of materials to create the break?
2. Okay with the location pulled back due to the grade of the lot
3. Wall height at the dog-run
4. A/C & mechanical to show on landscape plan
5. Wildfire defensible zone changes
6. Car port – screen with trees and shrubs.
7. Rafter tails must show details on drawings and all roof forms. Upper roofs 2 x 10 @ 24 on center; and 4 x 10 @ 36 on center.
8. Railings required over 30” on front porch – details to be provided for final.
9. Front porch supports are minimal. Need to increase size to comply with craftsman style regulations. Added bulk at base of supports to enhance entry.
10. Recommend to consider gable roof over front entry to allow for better snow shed.
11. Appears to meet the intent of craftsman if a few of the suggestions are brought into the design.

Motion to approve with conditions:

Motion: Melanie Richmond

Second: Rick Dominick

Vote: 5-0

Conditions:

1. Staff notes site
2. Craftsman the design up; rafter tails, roof pitches, column posts

36 DEWEY PARK RESIDENCE PRELIMINARY DRB MATERIAL SELECTIONS



CEDAR SMOOTH FACE NATURAL TONE HORIZONTAL AND VERTICAL SHIPLAP WOOD SIDING 8 1/4" REVEAL, 1/4" GAP



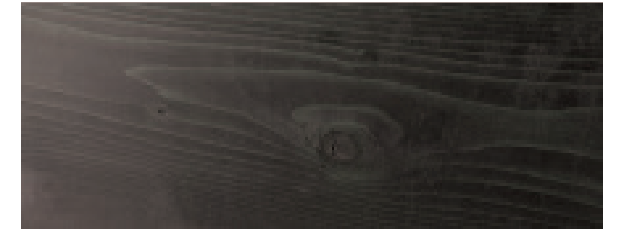
STUCCO FINISH IN MEDIUM GREY COLOR, LIMESTONE TEXTURE



LIGHT TAN LIMESTONE STONE VENEER AT BASE AND SITE WALLS



FLASHING TO BE 14 GAUGE DARK BRONZE KYNAR PAINTED METAL



FASCIA STK CEDAR W/ EBONY SEMI-TRANSPARENT STAIN.



POSTS, BEAMS AND RAFTERS TO BE DOUG FIR OR SIMILAR, S4S FINISH WITH NATURAL STAIN, COLOR T.B.D.



HIGH SLOPE ROOFING - GAF TIMBERLINE HDZ ASPHALT SHINGLES IN CHARCOAL



LOW SLOPE ROOFING - DARK BRONZE KYNAR COATED STANDING SEAM METAL



EXPOSED AGGREGATE CONCRETE PATIOS AND PAVERS WITH PEBBLE OR DECORATIVE PLANT INFIL



SOFFIT TO BE SELECT TIGHT KNOT LARCH T & G 1 X 6 DECKING W/ NATURAL STAIN



WINDOWS TO BE CLAD WOOD AND COMPOSITE IN BLACK

36 DEWEY PARK RESIDENCE PRELIMINARY DRB MATERIAL SELECTIONS

EXTERIOR SCONCE
MODERN FORMS HILINE
BLACK FINISH



EXTERIOR STEP LIGHT MOUNTED IN STONE
WAC LED 100- STAINLESS STEEL



BOLLARD LIGHTING
WAC LIGHTING GATE IN
BLACK STEEL



36 DEWEY PARK RESIDENCE PRELIMINARY DRB MATERIAL SELECTIONS

PERSPECTIVE TO ENTRY COURT



ENTRY ELEVATION



PERSPECTIVE FROM NORTH

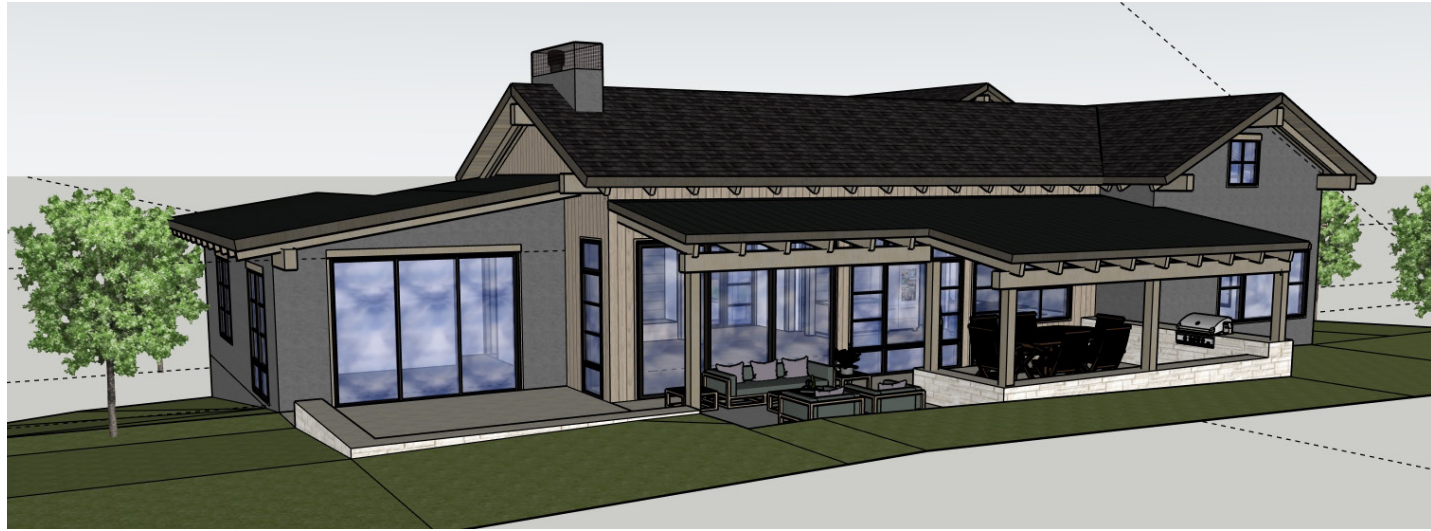


PERSPECTIVE FROM SWEST



36 DEWEY PARK RESIDENCE PRELIMINARY DRB MATERIAL SELECTIONS

PERSPECTIVE FROM REAR YARD



PERSPECTIVE FROM SOUTHEAST



PERSPECTIVE FROM SOUTHEAST



PERSPECTIVE FROM EAST



Final Plan Submittal Checklist

Eagle Ranch Design Review Board
P. O. Box 5905 - Eagle, CO 81631
(970) 328-2174
eagleranchdrb@eastwest.com



Submittal Date:

Filing/Block/Lot:

Homesite Address:

Architectural Style:

Please confirm that the plans for Final Plan Review are complete prior to submittal. This checklist presents the minimum requirements as outlined in the Design Guidelines. Please refer to the appropriate guidelines for additional information as needed. Incomplete submittals will not be accepted for review.

Submittal Requirement

- 1. Final Plan Review Application and Checklist
- 2. Final Plan Review Fee
- 3. Topographic Survey prepared by a licensed surveyor drawn at minimum 1"=20' scale showing:
 - a. Property boundaries of the subject homesite and adjacent property lines within 20'
 - b. Setback lines
 - c. Platted easements
 - d. Existing 2' contour intervals, significant natural features (e.g. rock outcrops, drainage, trees, etc.)
 - e. Other improvements, utilities, or other structures affecting development on homesite
- 4. Site Plan (based on Topo Survey) at minimum 1"=10' scale
 - a. Property lines, setbacks and easements
 - b. Building footprint and eave drip line locations
 - c. Existing and proposed contours at 2' interval
 - d. Driveways
 - e. Site Drainage
 - f. Utilities including evidence of adequate sewer service gradient
 - g. All utility connections
 - h. Building roof plan including ridge and eave heights
 - i. Proposed exterior lighting locations
 - j. Site Improvements (decks, patios, walks, pools, retaining walls, fence, etc.)
 - k. Address marker location and detail
- 5. Grading/Construction Management Plan at minimum 1"=10' scale
 - a. Site grading
 - b. Erosion, dust and trash controls, dumpster, construction fence, sanitation
 - c. Curb, sidewalk and/or pavement protection
 - d. Soil and materials staging area
 - e. Construction trailer location
 - f. Site access and construction impact limits
 - g. Construction sign and design
- 6. Landscape Plan at minimum 1"=10' scale
 - a. Footprint of building(s)
 - b. Existing and proposed contours at 2' interval
 - c. Planting plan (lawn areas, building perimeter beds, other planting beds, trees, etc.)
 - d. Plant list (Botanical name, common name, size, quantity)
 - e. Irrigation plan (sprinkler irrigation, drip irrigation, and non-irrigated areas, etc.)
 - f. Summary table of irrigation areas by type, square footage and % of lot area

- g. Cost estimate for final landscaping, irrigation and installation
- h. Anticipated landscape completion date
- 7. Proposed Architectural Plans at minimum 1"=4' scale
 - a. Dimensioned floor plans of all proposed buildings
 - b. Square footage calculations of all finished and unfinished spaces (including garage, mechanical, etc.)
 - c. Total Building(s) Footprint
 - d. Impervious area lot coverage
 - c. All elevations with existing and final grade shown including maximum building height offset
 - d. Longitudinal and cross building sections through all principal masses of the building(s)
 - e. Building height calculation
 - f. Table of exterior materials and colors
 - g. Proposed exterior lighting locations
 - h. Exterior lighting specifications with lighting worksheet and lumen calculations
 - i. Fence details and specifications
 - j. Colored rendered elevation(s) or colored perspective rendering(s), minimum of 4
 - k. Architectural Details
 - i. Eave and rake section details
 - ii. Beam look-out/bracket details
 - iii. Typical Foundation/wall sections showing structure and exterior materials
 - iv. Porch sections from foundation to roof
 - v. Railing details
 - vi. Window and trim section and elevation for all wall conditions

Site and Improvements Calculations Table

Eagle Ranch Design Review Board

P. O. Box 5905 - Eagle, CO 81631

(970) 328-2174

Filing/Block/Lot: lot 56, block 3, filing 3

Submittal Date: 12/6/24

Homesite Address: 36 Dewey Park Place

DRB Administrator Checked: _____
initial and date

LOT DISTURBANCE:

Description	Sq. Ft.	Acres	% Lot	Note:
Lot Area	28,270 sf	.649	100%	43,560 sq. ft. = 1 acre
Area Disturbed by Construction				

SITE COVERAGE:

Primary Residence Footprint	4205		13%	
Out-building Footprint(s)				
Other Impervious Areas	4208			
Total Impervious Coverage	8413		29%	

BUILDING AREA CALCULATIONS

Building Area	Finished Sq. Ft.	Unfinished Sq. Ft.	Note:
Primary Dwelling Unit:			Name and provide Data for each floor level.
○ Main level	2750		
○ Upper level	1900		
○			
○			
Subtotal PDU Living Space	4650		
Garage	1402		
Accessory Dwelling Unit			Max: 850 sq. ft. per PUD. Refer to guidelines each neighborhood for inclusions and exclusions
Out-Buildings			
Subtotals Finished/Unfinished sq. ft.	1402		
Total Finished + Unfinished Sq. Ft.		6052	Meadows & Uplands Filing 14: Max: 6,000 sq. ft. Uplands & Highlands: Max: 7,000 sq. ft. Gross SF for all areas.

IRRIGATION AREAS:

Description	Sq. Ft.	% Lot	Note:
Permanent Sprinkler Irrigation	1,028		measured area under sprinkler irrigation
Permanent Drip Irrigation	231		measured area under drip irrigation x 0.6
Total Permanent Irrigation	1,259		Not to exceed 50% of Lot Area
Temporary Irrigation	9,995		All residual disturbed soils x 1 to 2 growing seasons for healthy revegetation

Prepared by: Pavan Krueger

Owner Signature: _____

Print Name: Brad Wright

Date: 12/6/24

Exterior Lighting Worksheet – Eagle Ranch Design Review

Filing/Block/Lot: _____ Address: _____

Luminaire (Fixture) Location	Luminaire (Fixture) Data			Lamp (Bulb) Data			Lumens by Luminaire Type		Switch Type ⁶
	Brand/Model # - Attach Manufacturer Cut Sheet(s)	Qty	Lamp Type ¹	Lamps per Luminaire	Watts per Lamp ²	Lumens per Lamp ³	Unshielded Luminaires ⁵	IDA Certified Luminaires ^{4,5}	
Subtotal Lumens by Luminaire Shielding Category (Unshielded or IDA Certified ⁴)							≤ 2,000 lumens		
Total Lumens all Luminaire Categories (not to exceed 5,500 Lumens)								≤ 5,500 lumens	

Prepared by: _____ Date: _____

Owner Signature: _____ Date: _____

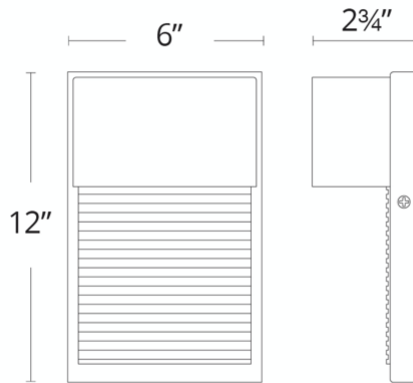
Print Name: _____

Notes:

1. Lamp (Bulb) Type = Incandescent (I), Compact Fluorescent (CFL), Low-voltage Halogen (LV), Light Emitting Diode (LED), etc.
2. Watts as marked on lamp.
3. Lumen comparisons for lamp types. General retail outlets (i.e. grocery, hardware store, etc.) may not carry all wattages. Consider specialty stores or internet sources.

Typical Lumens/Lamp ³ :						
Incandescent		Compact Fluorescent		Lo-Voltage Halogen		
Watts	Lumens	Watts	Lumens	Lamp Base	Watts	Lumens
25	200	5	200	G4	5	55
40	500	8-10	450	G4	10	140
60	800-890	13-18	890	G4	20	320
75	1080-1200	18-22	1210	G6Y.35	35	600
100	1420-1750	23-28	1750	G6Y.35	50	950

4. The International Dark-Sky Association (<http://www.darksky.org>) certifies luminaires that minimize glare, reduce light trespass, and don't pollute the night sky.
5. Luminaire Shield Category is Unshielded unless specifically certified with International Dark-Sky Association Fixture Seal of Approval.
6. Switch Type = manual (M), motion detector (MD), photocell (P), rheostat (R), timer (T)



WS-W2312

Project:

Location:

Fixture Type:

Catalog Number:

AVAILABLE FINISHES:



Hiline

WS-W2312

PRODUCT DESCRIPTION

Like so many minimalist designs, Hiline rewards those who take a closer look. Its clean, bracket-like shape is detailed with fine horizontal ridges for visual texture—that really comes to life when the lights come on. Factory-sealed housing protects the high-performance LED modules, which work alongside the weather-resistant finish to earn its wet-rated status. Ideal applications include multi-tiered decks, stone patios and entranceways to luxury hotels and homes.

FEATURES

- 277V option available for special order.
- ACLED driverless technology
- Etched glass shield
- IDA Dark Sky compliant
- 0-10V dimming option available (special order), unit dimensions: 3.4" x 1.2" x 0.5" (model#LDS065M010AFE-LO1)

SPECIFICATIONS

Rated Life	50000 Hours
Standards	ETL, cETL, Wet Location Listed, Dark Sky Friendly, ADA
Input	120 VAC, 50/60Hz
Dimming	ELV
Color Temp	3000K
CRI	85
Construction	Aluminum with etched glass light shield

REPLACEMENT PARTS

RPL-GLA-2312 - Glass

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W2312 12"	3000K	BK Black	8W	280	245

Example: **WS-W2312-BK**

•For 277V special order, add an "F" before the finish: WS-W2312F-BK

For custom requests please contact customs@modernforms.com

GATE LED BOLLARD/PATH

6651

WAC

LANDSCAPE LIGHTING



Shown without plate



Shown with plate



Fixture Type:

Catalog Number:

Project: _____

Location: _____

PRODUCT DESCRIPTION

Sleek linear design blends seamlessly into pathways while providing soft, even illumination

FEATURES

- IP66 rated, Protected against powerful water jets
- Factory sealed water tight fixtures
- Corrosion resistant aluminum alloy
- Recommended spacing for installation: Residential: 7 to 9ft; Commercial: 5 to 7ft
- Mounting stake, 6 foot lead wire, and detachable back plate included
- UL & cUL 1838 Listed

SPECIFICATIONS

Input: 9-15VAC (Transformer is required)
Power: 7W / 7.5VA
Brightness: Up to 115 lm
CRI: 90
Rated Life: 60,000 hours

Mounting accessory included



ORDERING NUMBER

	Color Temp	Finish
6651 Canopy	27 2700K Warm White	BZ Bronze on Aluminum
	30 3000K Pure White	BK Black on Aluminum

6651-___BK

Example: **6651-30BK**

wacighting.com
 Phone (800) 526.2588
 Fax (800) 526.2585

Headquarters/Eastern Distribution Center
 44 Harbor Park Drive
 Port Washington, NY 11050

Central Distribution Center
 1600 Distribution Ct
 Lithia Springs, GA 30122

Western Distribution Center
 1750 Archibald Avenue
 Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program.

Model: WL-LED100

LEDme® Step Light

WAC LIGHTING

Responsible Lighting®



Fixture Type:

Catalog Number:

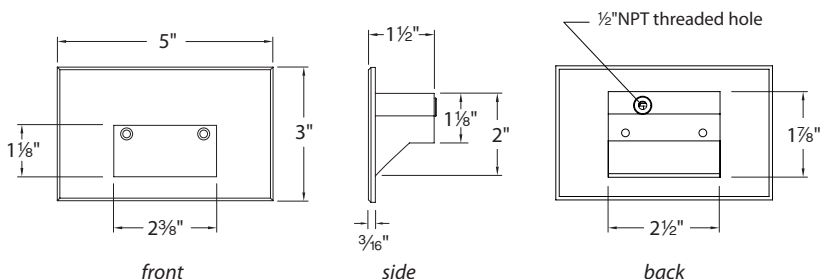
Project: _____

Location: _____

PRODUCT DESCRIPTION

Horizontal rectangle LEDme® Step Light. Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.

Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.



FEATURES

- Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction
- Direct wiring, no driver needed
- Low profile, flush to wall aesthetics with no visible hardware
- 54,000 hour rated life
- Balanced lighting, free of shadows with minimum glare
- IP66 rated, Protected against high-pressure water jets
- Up to 200 fixtures can be connected in parallel
- 5 year WAC Lighting product warranty

SPECIFICATIONS

Construction: Die-cast aluminum or 316 marine grade cast stainless steel

Power: Direct wiring, no remote driver needed. Input voltage: 120V or 277VAC 50/60Hz

Light Source: 2700K or 3000K CCT Samsung HV-AC High Power LED, CRI: 90
Optional color lenses. Total power consumption of 3.5W

Mounting: Fits into 2" x 4" J-Box with minimum inside dimensions of 3"L x 2"W x 2"H
Includes bracket for J-Box mount.

Dimming: Dim to 10% with electronic low voltage (ELV) dimmer
Approved dimmers: Lutron Nova-T NTELV-300 & NTELV-600, Lutron Vietri VTELV-600, Lutron Diva DVELV-300P, Lutron Skylark SELV-300P, Lutron Maestro MAELV-600

Standards: IP66, UL & cUL Listed for wet locations, Title 24 JA8-2016 Compliant.

ORDER NUMBER

120V Model #	Light Color	Finish
WL-LED100 120V	27 Warm 2700K	BK Black on Aluminum
	C White 3000K	BN* Brushed Nickel on Aluminum
	AM Amber 610nm	BZ Bronze on Aluminum
	RD Red 640nm	GH Graphite on Aluminum
	BL Blue 450nm	SS Stainless Steel
WL-LED100 120V	27 Warm 2700K	WT White on Aluminum
	C White 3000K	BBR Bronze on brass
	AM Amber 610nm	

277V Model #	Light Color	Finish
WL-LED100F 277V	C White 3000K	BK Black on Aluminum
	AM Amber 610nm	BN* Brushed Nickel on Aluminum
	RD Red 640nm	BZ Bronze on Aluminum
	BL Blue 450nm	GH Graphite on Aluminum
		SS Stainless Steel
		WT White on Aluminum

*Brushed Nickel Finish is for interior use only



Example: **WL-LED100F-BL-SS**

waclighting.com
Phone (800) 526.2588
Fax (800) 526.2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

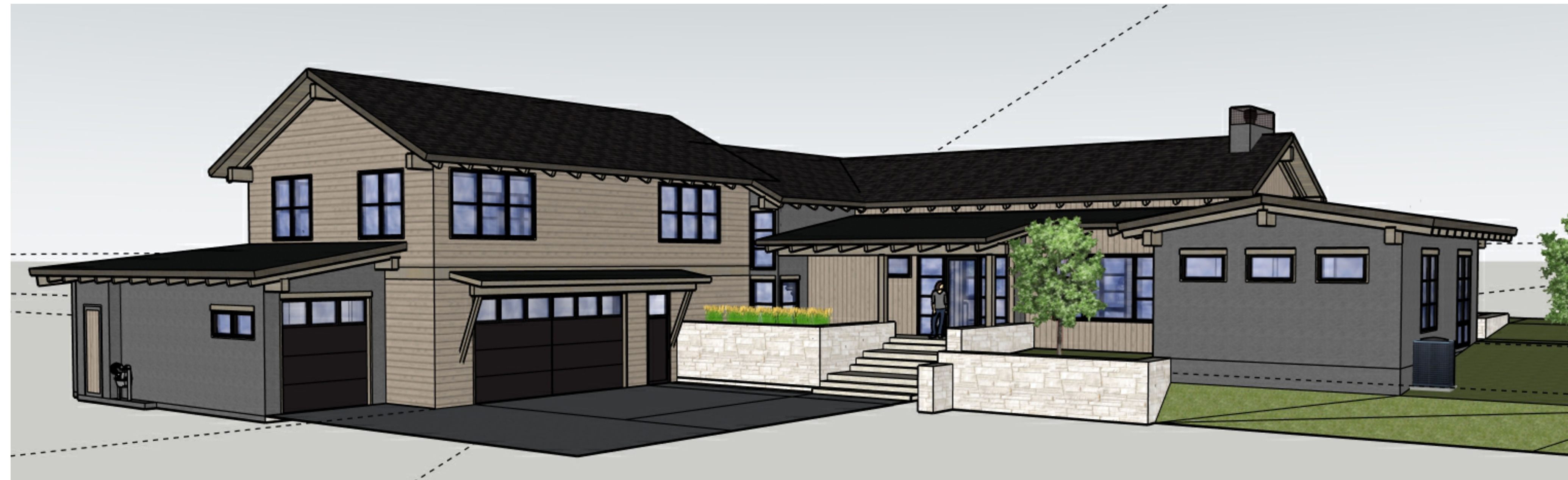
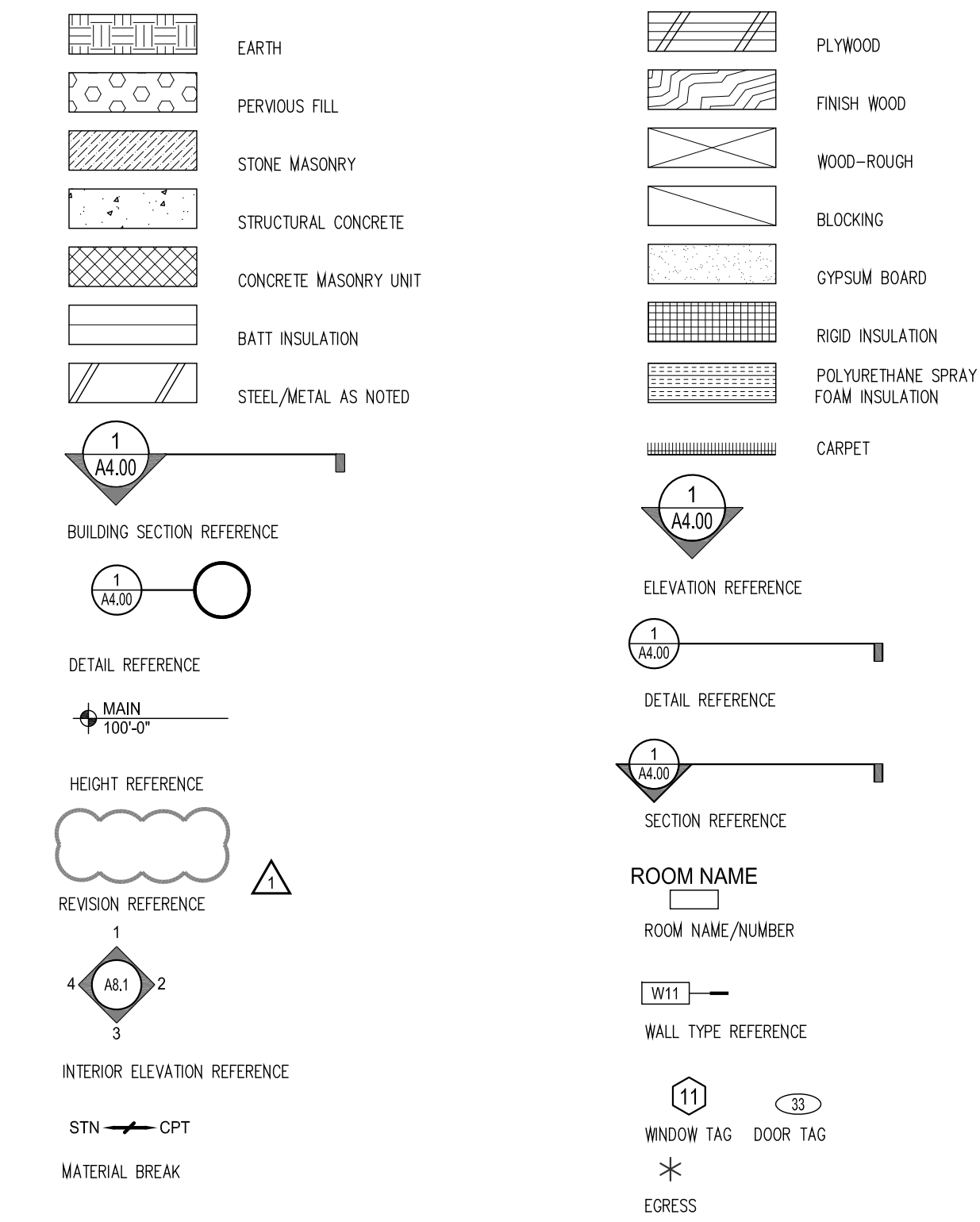
Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

36 DEWEY PARK PLACE RESIDENCE FINAL DRB

LOT 56, BLOCK 3, FILING 3, EAGLE RANCH
TOWN OF EAGLE, COLORADO
DECEMBER 6, 2024

MATERIAL SYMBOLS:



ABBREVIATIONS:

ABV	ABOVE	LAV	LAVATORY
AFF	ABOVE FINISHED FLOOR	LH	LEFT HAND
AP	ACCESS PANEL	L	LENGTH
AC	ACOUSTICAL	LTL	LINTEL
ADD	ADDENDUM	LVR	LOUVER
ADJ	ADJACENT	MH	MANHOLE
ALT	ALTERNATE	MFR	MANUFACTURE (ER)
ALUM	ALUMINUM	MO	MASONRY OPENING
ARCH	ARCHITECT (URAL)	MAT	MATERIAL
BASEMT	BASEMENT	MAX	MAXIMUM
BRG	BEARING	MECH	MECHANIC (AL)
BVL	BEVELED	MC	MEDICINE CABINET
BIT	BITUMINOUS	MEMBRANE	
BLK	BLOCK	MET	METAL
BLDG	BLOCKING	METER (S)	
BOT	BOTTOM	MIN	MINIMUM
BUILD	BUILDING	MIR	MIRROR
CPT	CARPET (ED)	MISC	MISCELLANEOUS
CSMT	CASEMENT	MULL	MULLION
CLG	CEILING	NAT	NATURAL
CT	CERAMIC TILE	NR	NOISE REDUCTION
CLR	CLEAR	NOM	NOMINAL
COL	COLUMN	NC	NOT IN CONTRACT
CONC	CONCRETE	NTS	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	OPG	OPENING
CONST	CONSTRUCTION	OPP	OPPOSITE
CONT	CONTINUOUS	OPH	OPPOSITE HAND
CJT	CONTROL JOINT	OH	OVERHEAD
CPR	COPPER	OR	OVER
CUST	CUSTOM	PK	PARKING
DT	DRAPERY TROUGH	PWMT	PAVEMENT
DL	DETAIL	PL	PLASTIC LAMINATE
DM	DIMENSION	PT	POINT
DR	DOOR	PSF	POUNDS PER SQUARE FOOT
DWG	DRAWING	PSI	POUNDS PER SQUARE INCH
ELEC	ELECTRIC (AL)	PL	PROPERTY LINE
EL	ELEVATION (S)	REF	REFERENCE
ELEV	ELEVATION	REFR	REFRIGERATOR
EQ	EQUAL	RENF	REINFORCING
EXH	EXHAUST	RES	RESILIENT
EXC	EXISTING	REQD	REQUIRED
EXT	EXTERIOR	RESL	RESILIENT
FOC	FACE OF CONCRETE	REV	REVISION
FOF	FACE OF FINISH	REVS	REVERSE
FOM	FACE OF MASONRY	RH	RIGHT HAND
FOS	FACE OF STUDS	R	RISER
FIN	FINISH (ED)	R&S	ROD AND SHELF
FFE	FINISHED FLOOR ELEVATION	RD	ROOF DRAIN
FE	FIRE EXTINGUISHER	RFG	ROOFING
FHC	FIRE HOSE CONNECTION	ROOM	ROOM
FPL	FIREPLACE	RO	ROUGH OPENING
FP	FIREPROOFING, SPRAYED	R/S	ROUGH SAWN
FLG	FLASHING	SNT	SEALANT (EXTERIOR)
FLR	FLOOR (ING)	SHTG	SHEATHING
FD	FLOOR DRAIN	SM	SHEET METAL
FND	FOOTING	SMR	SMALL
FND	FOUNDATION	SC	SOLID CORE
FNB	FURNISHED BY OTHERS	SPEC	SPECIFICATION (S)
FFHB	FREEZE PROOF HOSE BIB	SD	SQUARE
FUR	FURRED (ING)	STD	STANDARD
GA	GAGE, GAUGE	ST	STAIN
GV	GALVANIZED	STL	STEEL
CC	GENERAL CONTRACT (OR)	SD	STORM DRAIN
GL	GLASS, GLAZING	STR	STRUCTURAL
GYP BD	GYP BOARD	TEL	TELEPHONE
HB	HOSE BIB	TV	TELEVISION
HDW	HARDWARE	THR	THRESHOLD
HDR	HEADER	VF	VERIFY IN FIELD
HTC	HEATING	T&G	TONGUE AND GROOVE
HVAC	HEATING/VENTILATING/AC	TB	TOWEL BAR
HT	HEIGHT	TR	TRANSOM
HOR	HORIZONTAL	T	TYPICAL
HWH	HOT WATER HEATER	UNO	UNLESS NOTED OTHERWISE
INCL	INCLUDE (D), (ING)	VB	VAPOR BARRIER
ID	INSIDE DIAMETER	VF	VERIFY IN FIELD
IBC	INSTALLED BY CONTRACTOR	VERT	VERTICAL
IBO	INSTALLED BY OWNER	WC	WATER CLOSET
INS	INSULATE (D), (ION)	WF	WATER PROOFING
INT	INTERIOR	W	WELDED WIRE FABRIC
KIT	KITCHEN	W	WIDTH, WIDE
LAM	LAMINATE (D)	WN	WINDOW
		NO	WITHOUT
		WD	WOOD

PROJECT SUMMARY:

CODE:
INTERNATIONAL RESIDENTIAL CODE 2021
INTERNATIONAL ENERGY CONSERVATION CODE 2021
CONSTRUCTION TYPE:
TYPE V-N
OCCUPANCY CLASSIFICATION:
GROUP R-3 (SINGLE FAMILY DWELLING)
GROUP U (PRIVATE GARAGES)
RATED CONSTRUCTION:
1-HR AT GARAGE/RESIDENCE

PROJECT DIRECTORY:

CONTRACTOR
SOUTH FORK BUILDER
ADAM@SOUTHFORKBUILDERS.NET
970.443.9427
CONTACT: ADAM OSTMEYER

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970.390.0968
PAVAN@KRUEGERARCH.COM
CONTACT: PAVAN KRUEGER

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CONTACT: KATHY AALTO

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970.355.4062
CONTACT: LANDON ANDERSON

SOILS ENGINEER
HP GEOTECH
5020 COUNTY RD 124
GLENWOOD SPRINGS CO 81601
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SURVEYOR
SLAGLE SURVEY SERVICES
PO BOX 751
EAGLE, CO 81631
970.471.1499
CONTACT: MATTHEW SLAGLE

Exterior Lighting Worksheet – Eagle Ranch Design Review

Filing/Block/Lot: lot 56, block 3, filing 3 Address: 36 Dewey Park Place

Luminaire (Fixture)	Luminaire (Fixture) Data		Lamp (Bulb) Data		Lumens by Luminaire Type	
	Brand/Model #	Qty	Lamp Type	Watts per Lamp	Unshielded Lumens	Shielded Lumens
Sconce	Modern Forms Hillite WS-W2312-12"	13	LED	12.5w	245	4461
Step Light	WAC Lighting LED100	12	LED	3.8w	68	
Path Light	WAC Lighting Gate	4	LED	7w	115	
Subtotal Lumens by Luminaire Shielding Category (Unshielded or IDA Certified)					3,000 lumens	4461 lumens
Total Lumens All Luminaire Categories (not to exceed 5,500 Lumens)						4461 lumens

Prepared by: Pavan Krueger Date: 12/8/24
Owner Signature: Brad Wright Date: 12/8/24
Print Name: Brad Wright

Notes:
1. Lamp (Bulb) Type = Incandescent (I), Compact Fluorescent (CFL), Low-voltage Halogen (LH), Light Emitting Diode (LED), etc.
2. Watts as marked on spec.
3. Lumens compliance for lamp types: General retail outlets (e.g. grocery, hardware store, etc.) may not carry all wattages. Consider specialty stores or internet sources.

Typical Luminaire, lamp	Incandescent	Compact Fluorescent	Low-voltage Halogen	Light Emitting Diode	
Watts	Lumens	Watts	Lumens	Watts	Lumens
25	200	25	250	G4	140
40	400	40	450	G4	240
60	800	60	850	G4	340
75	1000-1200	75	1100	GY6.35	350
100	1400-1700	100	1500	GY6.35	400
150	2100-2500	150	2200	GY6.35	600

4. The International Dark Sky Association (IDA) defines dark sky as: Luminaire that minimizes glare, reduces light trespass, and doesn't pollute the night sky.
5. Luminaire Shielding Category A (unshielded) must be certified with International Dark Sky Association Fixture Seal of Approval.
6. Switch Type = manual (M), motion detector (MDS), photocell (P), thermostat (T), timer (T).



VICINITY MAP

PROJECT PARAMETERS:

SETBACKS:
FRONT: 35'
SIDES: 15'
REAR: 25'

MAX LOT COVERAGE: 30%
MAX IMPERV. COVERAGE: 50%
MIN. DRIVE SETBACK: 7.5'
MAX. ROOF SETBACK ENCROACHMENT: 30"
MAX. GRADE VARIATION FROM EXIST.: 5"
MAX. DRIVE GRADE: 6% FIRST 20', 12% REMAINDER
MAX. DRIVE WIDTH: 12' WITH 2 SHOULDERS EACH SIDE

DRAWING INDEX:

ARCHITECTURAL:

- A0.0 COVER SHEET
- TOPO TOPOGRAPHIC SURVEY
- CMP CONST. MANAGEMENT PLAN
- L1 SITE PLAN
- L2 LANDSCAPE PLAN
- A2.1 MAIN LEVEL PLAN
- A2.2 UPPER LEVEL PLAN
- A2.3 ROOF PLAN
- A3.1 ELEVATIONS
- A3.2 ELEVATIONS
- A4.1 BUILDING SECTIONS
- A4.2 BUILDING SECTIONS
- A4.3 BUILDING SECTIONS
- A5.1 FOUNDATION/FINISH DETAILS
- A5.3 ROOF DETAILS
- A5.5 WINDOW DETAILS
- A7.1 WINDOW SCHEDULE

KRUEGER ARCHITECTURE
& DESIGN

36 WEST DEWEY PARK
LOT 56, BLOCK 3, EAGLE RANCH FILING 3
36 WEST DEWEY PARK PLACE

ISSUED FOR:	DATE:
DRB PREDESIGN	7-5-24
PROGRESS	7-15-24
DRB PRELIMINARY	9-2-24
DRB FINAL	12-6-24

SHEET SCALE:
DRAWN BY: PK
PROJECT: 36 DEWEY PARK
COPYRIGHT 2024
KRUEGER ARCHITECTURE & DESIGN

COVER SHEET

A0.0

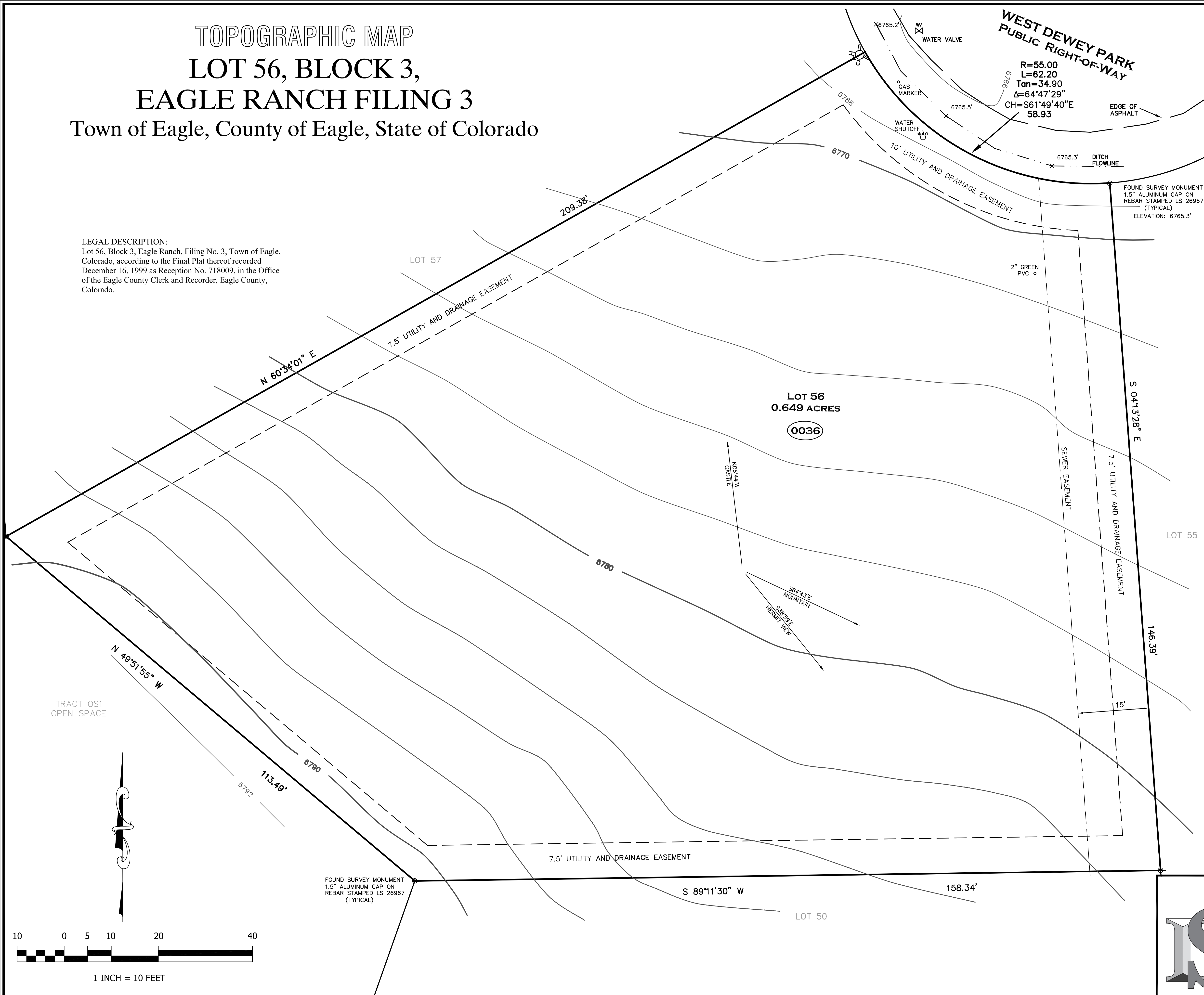
PO Box 8332
Avon, CO 81620
970.390.0968
pavan@kruegerarchitecture.com

TOPOGRAPHIC MAP

LOT 56, BLOCK 3, EAGLE RANCH FILING 3

Town of Eagle, County of Eagle, State of Colorado

LEGAL DESCRIPTION:
 Lot 56, Block 3, Eagle Ranch, Filing No. 3, Town of Eagle,
 Colorado, according to the Final Plat thereof recorded
 December 16, 1999 as Reception No. 718009, in the Office
 of the Eagle County Clerk and Recorder, Eagle County,
 Colorado.



NOTES:

- 1) Survey Date: September 25, 2018.
- 2) Location of Improvements, Lot lines, and Easements are based upon the hereon referenced Final Plat of Eagle Ranch, Filing No. 3 and Survey Monuments found at the time of this survey based on Eagle Ranch Horizontal and Vertical control. This Survey does not constitute a boundary survey. This survey was performed without the aid of a title commitment or policy.
- 3) Elevation Datum: 6765.2' on a sanitary sewer manhole rim located in the right of way for West Dewey Park. This elevation was provided by others from an unknown datum.
- 4) Contour Interval: 2 foot.
- 5) Utilities are shown approximately and should be field verified prior to excavation.
- 6) Surveyor does not warrant or certify to the integrity of any Digital Data supplied in conjunction with this map and survey.
- 7) Street Address: 0036 West Dewey Park. (Not Posted)
- 8) This Topographic Survey was prepared for the exclusive use of Brad Wright, Maria Wright and Evan Wright, and is valid only if print has original seal and signature of surveyor.
- 9) Lineal Units of the U.S. Survey Foot were used herein.

I, Matthew S. Slagle, a Licensed Professional Land Surveyor in the State of Colorado, hereby certify that this map was prepared by me or under my responsible charge, is based upon the professional land surveyor's knowledge, information and belief, is in accordance with applicable standards of practice, and is not a guaranty or warranty, either expressed or implied. The Notes hereon are a part of this certification.



Matthew S. Slagle PLS 34998
 Professional Land Surveyor
 State of Colorado

Revised Note 8 10-09-23 MSS



1 INCH = 10 FEET

NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.



SLAGLE SURVEY SERVICES

800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631
 970.471.1499 Office matthew@slaglesurvey.com
 www.SlagleSurvey.com

**LOT 56, BLOCK 3,
EAGLE RANCH FILING 3**
 Town of Eagle, County of Eagle, State of Colorado

DRAWN BY: MSS	JOB NUMBER: 18065	DRAWING NAME: 18065_Topo.dwg
SHEET 1 OF 1		DATE: 09-26-2018

EROSION CONTROL & SITE PROTECTION NOTES & SPECIFICATIONS:

- SILT FENCE OR STRAW HATTLES ARE TO BE PLACED AT THE LIMIT OF CONSTRUCTION AS NEEDED TO PREVENT EROSION AND SEDIMENTATION. A CONSTRUCTION FENCE WILL BE PLACED AT THE LIMIT OF DISTURBANCE WHERE THE SILT FENCE OR HAY BALES ARE NOT USED.
- ALL TREES WITHIN THE LIMITS OF DISTURBANCE THAT ARE TO BE PRESERVED TO BE PROTECTED, AT EVERGREEN TREES WITH SNOW FENCING AT DRIP-LINE AT DECIDUOUS TREES USE SNOW FENCING AT DRIP-LINE. IF YOU CANNOT PROVIDE SNOW FENCE A DRIP-LINE DUE TO CONSTRUCTION PROXIMITY, TRAP TRUNK WITH PLASTIC CORRUGATED CULVERT SECTIONS TO A HEIGHT OF 6" OR TO FIRST MAJOR BRANCH. IF IT IS NECESSARY TO DRIVE WITHIN THE DRIP-LINE OF THE TREE, CONTRACTOR SHALL INSTALL 4" OF BARK MULCH OR WOOD CHIPS IN A RING EXTENDING FROM THE TRUNK TO THE TREE'S DRIP LINE.
- SPECIAL CARE NEEDS TO BE TAKEN FOR TREES WITHIN CONSTRUCTION ACCESS ROUTE AND WORK AREAS. PLASTIC CORRUGATED CULVERT SECTIONS WITH INTERIOR INSULATION OF 1.5" MIN. TO SURROUND TREE TRUNK TO A HEIGHT OF 6" OR TO FIRST MAJOR BRANCH.
- ERECT AND MAINTAIN TEMPORARY FENCING AROUND TREE PROTECTION ZONES BEFORE STARTING SITE CLEARING. REMOVE FENCE WHEN CONSTRUCTION IS COMPLETE. DO NOT STORE CONSTRUCTION MATERIALS, DEBRIS, OR EXCAVATED MATERIAL WITHIN FENCED AREA. DO NOT PERMIT VEHICLES, EQUIPMENT OR FOOT TRAFFIC WITHIN FENCED AREA. MAINTAIN FENCED AREA FREE OF WEEDS AND TRASH.
- DO NOT EXCAVATE WITHIN TREE PROTECTION ZONES, UNLESS OTHERWISE INDICATED. WHERE EXCAVATION FOR NEW CONSTRUCTION IS REQUIRED WITHIN TREE PROTECTION ZONES, HAND CLEAR AND EXCAVATE TO MINIMIZE DAMAGE TO ROOT SYSTEMS. USE NARROW-TINE SPADING FORKS TO COMB SOIL TO EXPOSE ROOTS AND CLEANLY CUT ROOTS AS CLOSE TO EXCAVATION AS POSSIBLE.
 - COVER EXPOSED ROOTS WITH BURLAP AND WATER REGULARLY.
 - TEMPORARILY SUPPORT AND PROTECT ROOTS FROM DAMAGE UNTIL THEY ARE PERMANENTLY REDIRECTED AND COVERED WITH SOIL.
 - COAT CUT FACES OF ROOTS MORE THAN 1.5" IN DIAMETER WITH AN EMULSIFIED ASPHALT OR OTHER APPROVED COATING FORMULATED FOR USE ON DAMAGED PLANT TISSUES.
 - BACKFILL WITH SOIL AS SOON AS POSSIBLE.
- ALL DISTURBED AREAS NOT DESIGNATED AS SHRUB BEDS, PERENNIAL BEDS, OR LAWN SHALL BE REVEGETATED WITH PRAIRIE BUTTES MOUNTAIN NATIVE GRASS SEED MIX. SOON AT RECOMMENDED RATE UNLESS SPECIFIED OTHERWISE. SEED MIX CONTAINS: STREAMBANK WHEATGRASS, MOUNTAIN BROMEGRASS, SLENDER WHEATGRASS, BLUE WILDRYE, ARIZONA FESCUE, SANDBERG BLUEGRASS, PRAIRIE JUNGLEGRASS, TUFTED HAIRGRASS, https://powerbuttesseed.com/pbsi-mixes/pbsi-native-mountain-mix/

EROSION CONTROL & SITE PROTECTION NOTES & SPECIFICATIONS:

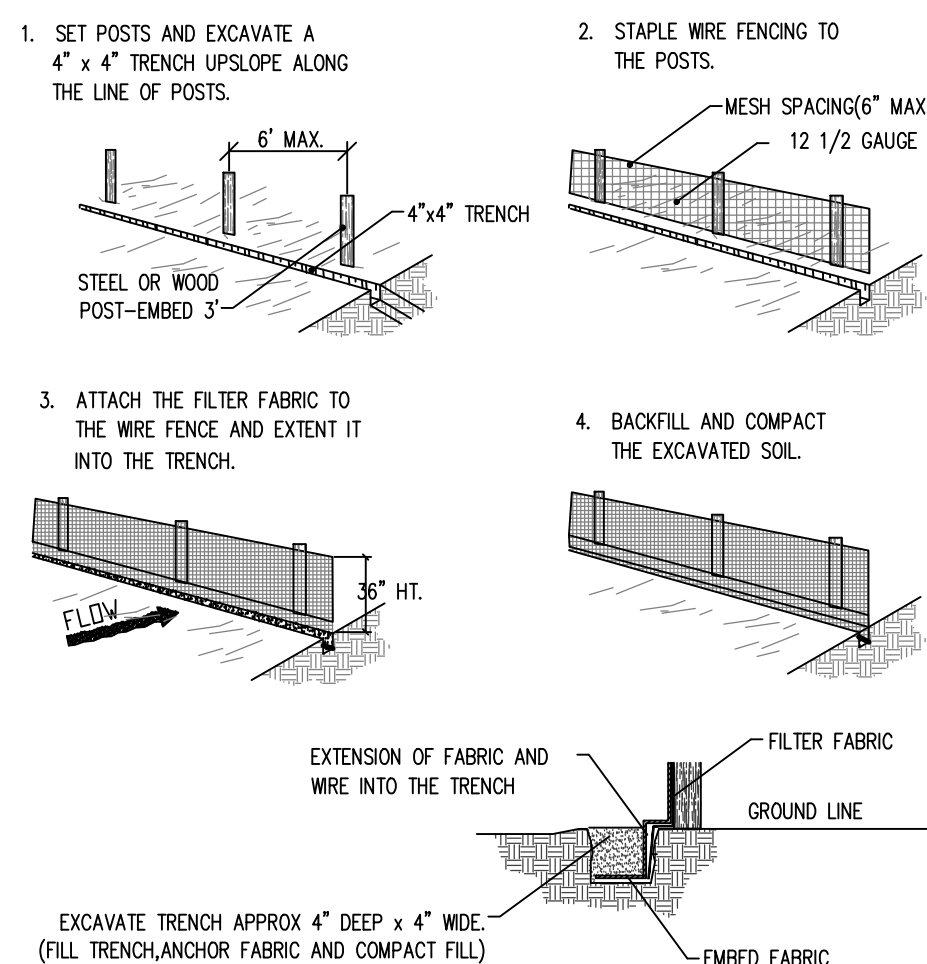
- SILT FENCING IS TO BE PLACED AT THE LIMIT OF DISTURBANCE AS NEEDED TO PREVENT EROSION AND SEDIMENTATION. A CONSTRUCTION FENCE WILL BE PLACED AT THE LIMIT OF DISTURBANCE WHERE THE SILT FENCE IS NOT USED.
- SILT FENCING IS TO BE PLACED AT BASES OF FILL AND SOIL STOCKPILES TO PREVENT EROSION AND SEDIMENTATION.
- STRAW HATTLES SHALL BE PLACED AT ALL EXISTING AND PROPOSED DRAINAGE SHALES.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN PLACE UNTIL CONSTRUCTION IS COMPLETED.
- ALL DISTURBED AREAS NOT DESIGNATED AS SHRUB BEDS OR PERENNIAL BEDS SHALL BE REVEGETATED WITH THE SPECIFIED SEED MIXTURE. SEE PLANTING NOTES & PLANTING PLAN FOR MORE INFORMATION.
- PROVIDE SILT FENCE AROUND ALL REVEGETATED AREAS FOR A MINIMUM OF ONE YEAR PERIOD OF ESTABLISHMENT.

DUST CONTROL & MANAGEMENT:

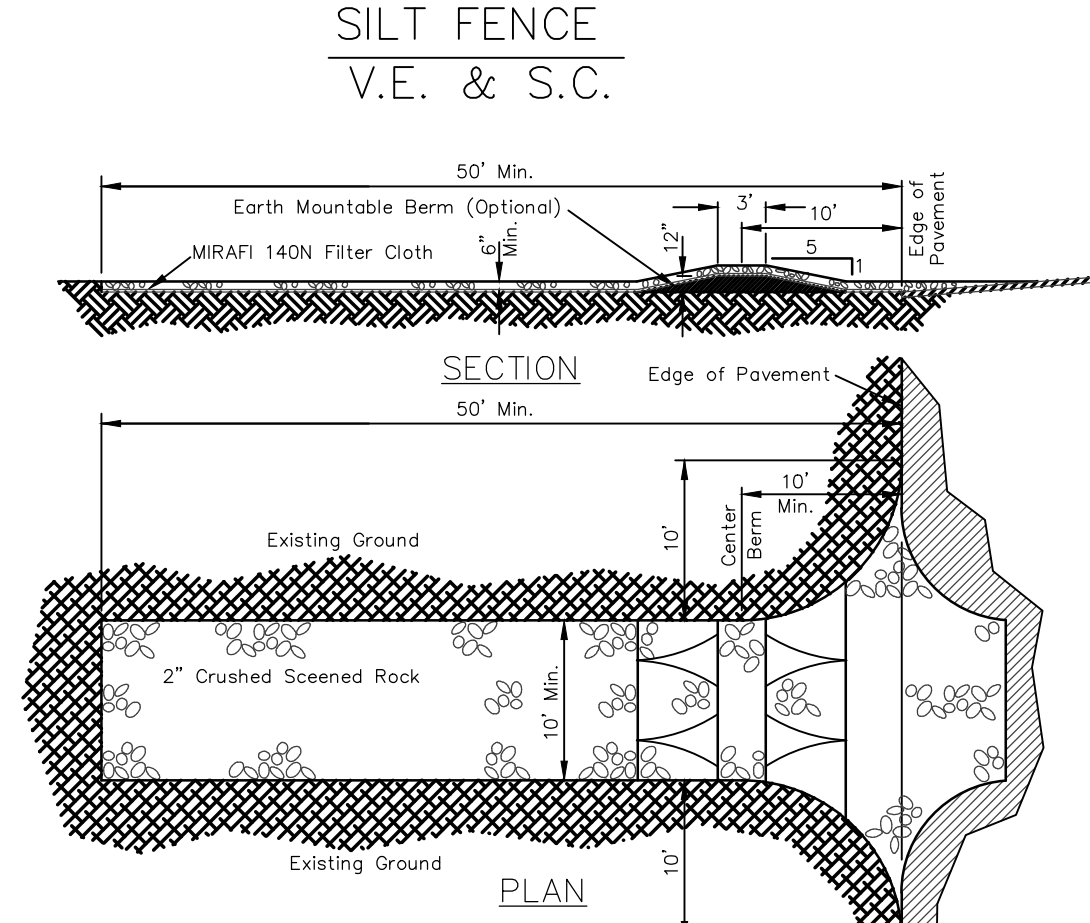
- THE FOLLOWING DUST CONTROL MEASURES WILL BE TAKEN:
 - WIND BARRIERS, AIR CURTAINS AND SOIL BLOWING WILL BE CONTROLLED WITH THE SILT FENCE AND OTHER COMPARABLE BARRIERS INDICATED ON THE CM PLAN AND INCLUDING THE MUD TRACKING PLAN.
 - WATER SUPPRESSION WATER WILL BE ADMINISTERED DAILY AS NEEDED.

WEED MANAGEMENT:

- WEED MANAGEMENT TO BE DEALT WITH REMOVAL OF ANY WEEDS BY SPRAYING OR PULLING, BEFORE GOING TO SEED AND THEREFORE SPREADING TO NEIGHBORING SITES. WEEDS WILL BE CONTROLLED ON SOIL STORAGE PILES, WITH AREA OF DISTURBANCE, AS WELL AS ANY NOXIOUS WEEDS ON THE PROPERTY IN GENERAL. ALL WEEDS WILL BE PUT IN PLASTIC BAGS AND DISPOSED IN THE DUMPSTER FOR REMOVAL.



STRAW WATTLE INSTALLATION



STABILIZED CONSTRUCTION ENTRANCE

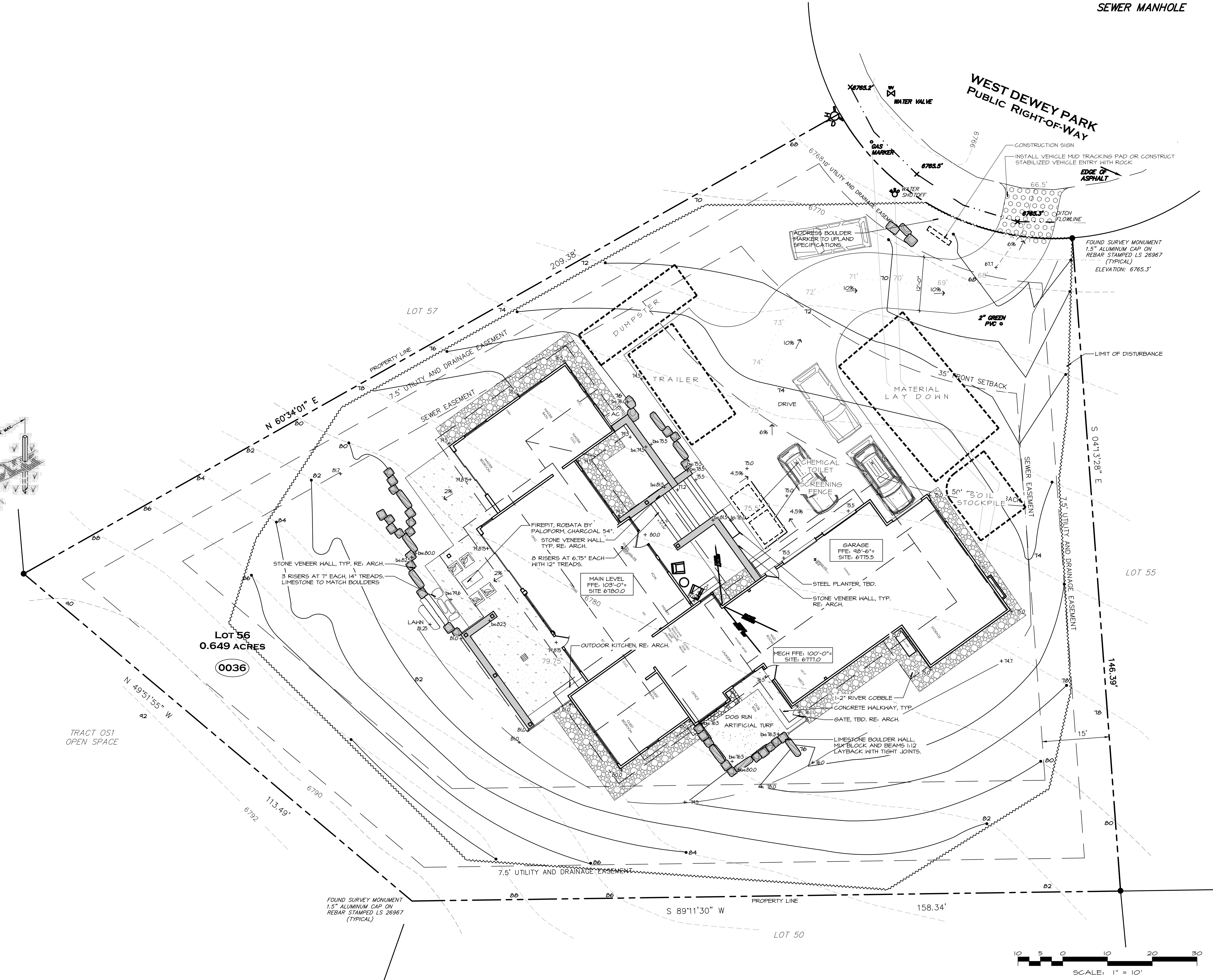
- CONSTRUCTION NOTES Scale: 1" = 10'-0"
- STONE SIZE - USE 2" CRUSHED SCREENED ROCK.
 - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE FILTERED ACROSS THE ENTRANCE. IF FILTERING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. SOE SHALL REMAIN IN PLACE UNTIL PAVING OF ENTRANCE COMMENCES.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.


Single Family Residence
36 Dewey Park Place
 Building Permit No.: T.B.D.
 Contractor:
South Fork Builders
970-443-9427
 Architect:
Pavan Krueger | Krueger Architecture
970-390-0968

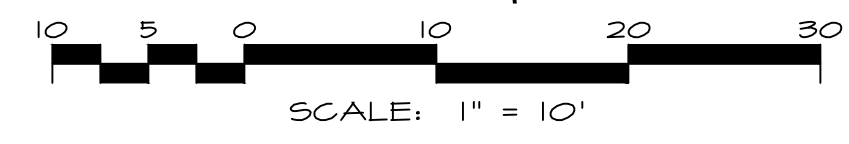
CONSTRUCTION ESTIMATE (LANDSCAPE): 78K
 CONSTRUCTION COMPLETION (MAY 2024-MAY 2026)

GRAPHIC LEGEND

SYMBOL	DESCRIPTION
	PROPOSED CONTOUR
	EXISTING CONTOUR
	LIMITS OF DISTURBANCE
	SILT FENCE
	SNOW STORAGE
	SNOWMELT



BENCHMARK
ELEV=6765.2'
SEWER MANHOLE



36 West Dewey Park
 36 West Dewey Park Place
 Lot 56, Block 3, Eagle Ranch Filing 3

06 December 2024

Title: **CONSTRUCTION MANAGEMENT PLAN**

Scale: **1" = 10'**

Sheet: **CMP1**
 © Ceres Plus, LLC. 2015


 LANDSCAPE ARCHITECTURE
 Post Office Box 2134 Eagle, Colorado 81521 P: 970-949-3286 F: 970-228-6984

GENERAL NOTES:

- CONTRACTOR TO VERIFY EXISTING SITE INFORMATION, INCLUDING STRUCTURES, UTILITIES, PROPERTY LINES, LIMITS OF ROADSWAYS, AND CURBS AND GUTTERS, THAT MAY AFFECT THE SCOPE OF WORK PRIOR TO BEGINNING SITE CONSTRUCTION.
- EXISTING UTILITIES ARE INDICATED FOR INFORMATION ONLY AND NOT INTENDED TO SHOW EXACT LOCATION. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACTOR. THE CONTRACTOR SHALL LOCATE ALL UTILITIES AND MAINTAIN THE LOCATION DURING ALL PHASES OF THE WORK. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES OR STRUCTURES AND ANY INJURIES THEREFROM. RESTORATION OF ANY UTILITIES DAMAGED BY THE CONTRACTOR SHALL BE AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER. ANY ADJUSTMENTS OF PROPOSED WORK WILL BE APPROVED BY LANDSCAPE ARCHITECT. ADJUSTMENTS OF PLANT MATERIAL DUE TO CONFLICTS WITH UTILITIES SHALL BE APPROVED BY OWNER OR LANDSCAPE ARCHITECT. CALL UNDERGROUND LOCATES @ 800-922-1987, 1 WEEK PRIOR TO PLANTING.
- PROVIDE OWNER OR LANDSCAPE ARCHITECT WITH NOTIFICATION OF ALL DISCREPANCIES BETWEEN EXISTING AND PROPOSED SITE IMPROVEMENTS BEFORE STARTING WORK.
- LANDSCAPE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS AS REQUIRED TO PROPERLY PROTECT AND MAINTAIN HIS WORK FOR THE DURATION OF THE CONTRACT.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
- NOTES AND DETAILS ON SPECIFIC DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- NO SUBSTITUTIONS FOR ANY MATERIALS SPECIFIED SHALL BE MADE WITHOUT LANDSCAPE ARCHITECT'S OR OWNER'S APPROVAL.
- IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL DESIGN CRITERIA AS NOTED BY THE DRAWING OR TECHNICAL SPECIFICATIONS. ANY DISCREPANCIES, DELETIONS, ADDITIONS, OR ALTERATIONS TO THE DRAWINGS OR SPECIFICATIONS SHALL BE PRESENTED IN WRITING TO THE PROJECT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CIVIL ENGINEERING IS THE RESPONSIBILITY OF THE OWNER OR GENERAL CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR ROUGH GRADINGS TO +/- 0.25' OF FINISHED GRADE & LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINISH GRADINGS.
- ALL WORK AND PARTS SHALL BE WARRANTED FOR A MINIMUM OF ONE YEAR FROM DATE OF COMPLETION.
- A MINIMUM OF 48 HOURS NOTICE IS REQUIRED FOR ALL MODIFICATIONS, REVIEW & APPROVAL REQUESTS TO LANDSCAPE ARCHITECT.
- AT COMPLETION OF ALL WORK OUTLINED IN THESE PLANS THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OWNER AND ARRANGE A WALK THROUGH TO DETERMINE THAT ALL ASPECTS OF WORK ARE COMPLETED. WORK MUST BE FULLY COMPLETED ACCORDING TO ALL PLANS AND SPECIFICATIONS AND MUST BE COMPLETED IN GOOD WORKMANSHIP MANNER AND MUST BE ACCEPTED BY THE OWNER IN WRITING PRIOR TO THE BEGINNING OF THE MAINTENANCE PERIOD.
- OWNER OR AUTHORIZED REPRESENTATIVE MAY COMPLETE PORTIONS OR ALL OF APPROVALS AND WORK OUTLINED IN NOTES IN LIEU OF LANDSCAPE ARCHITECT.
- STONE DRIP EDGE TO BE 2" TO 4" NATIVE RIVER COBBLE OVER FILTER FABRIC UNLESS SPECIFIED OTHERWISE PER PLAN. PROVIDE SAMPLE FOR OWNER APPROVAL.
- ALL DOWN SPOUTS, DRAIN INLETS, DRAIN LINES AND FRENCH DRAINS TO BE INSTALLED BY THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.

GRAPHIC LEGEND

SYMBOL	DESCRIPTION
	PROPOSED CONTOUR
	EXISTING CONTOUR
	LIMITS OF DISTURBANCE
	SILT FENCE
	SNOW STORAGE
	SNOWMELT

GRADING & DRAINAGE LEGEND

SYMBOL	DESCRIPTION
	EXISTING ELEVATION
	PROPOSED FINISHED ELEVATION/ FINISHED GRADE
	PROPOSED TOP OF WALL ELEVATION
	PROPOSED BOTTOM OF WALL ELEVATION
	DRAIN INLET (6" BLACK PVC UNLESS SPECIFIED OTHERWISE)

SITE DISTURBANCE

AREA OF DISTURBANCE: 22,421 S.F.

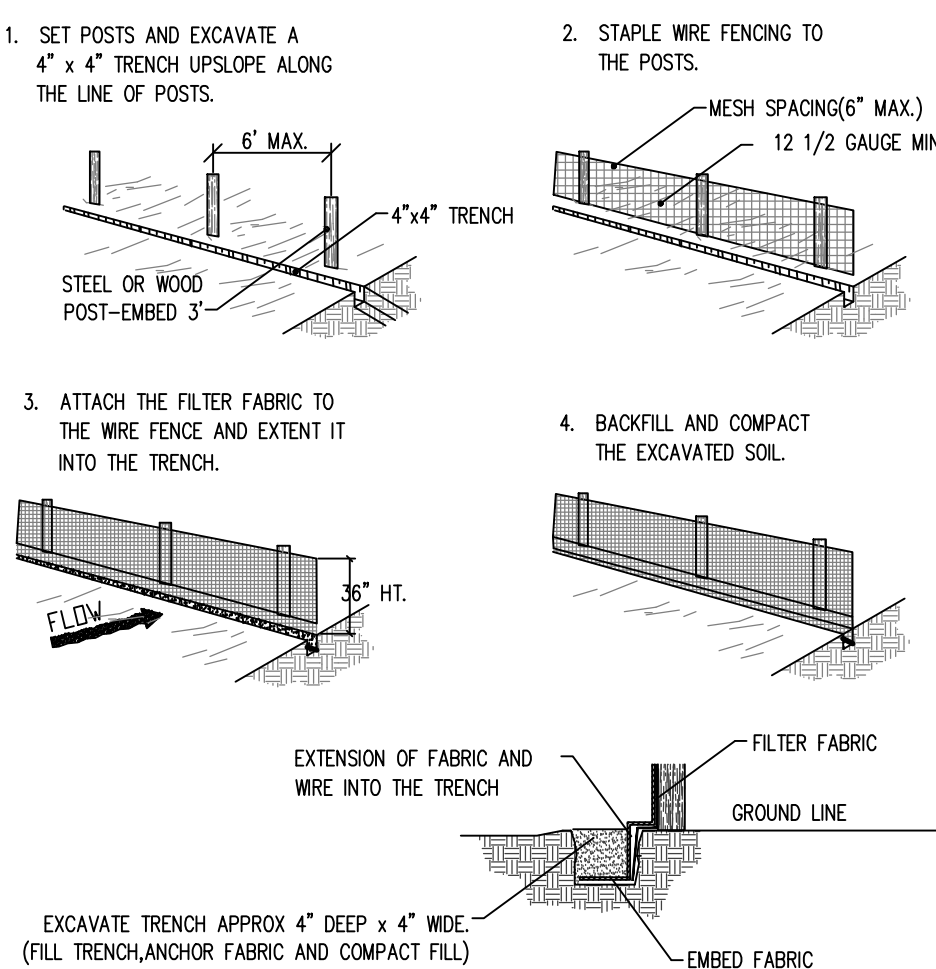
IMPERVIOUS AREA

AREA OF IMPERVIOUS SURFACES: 4,207.75 S.F.

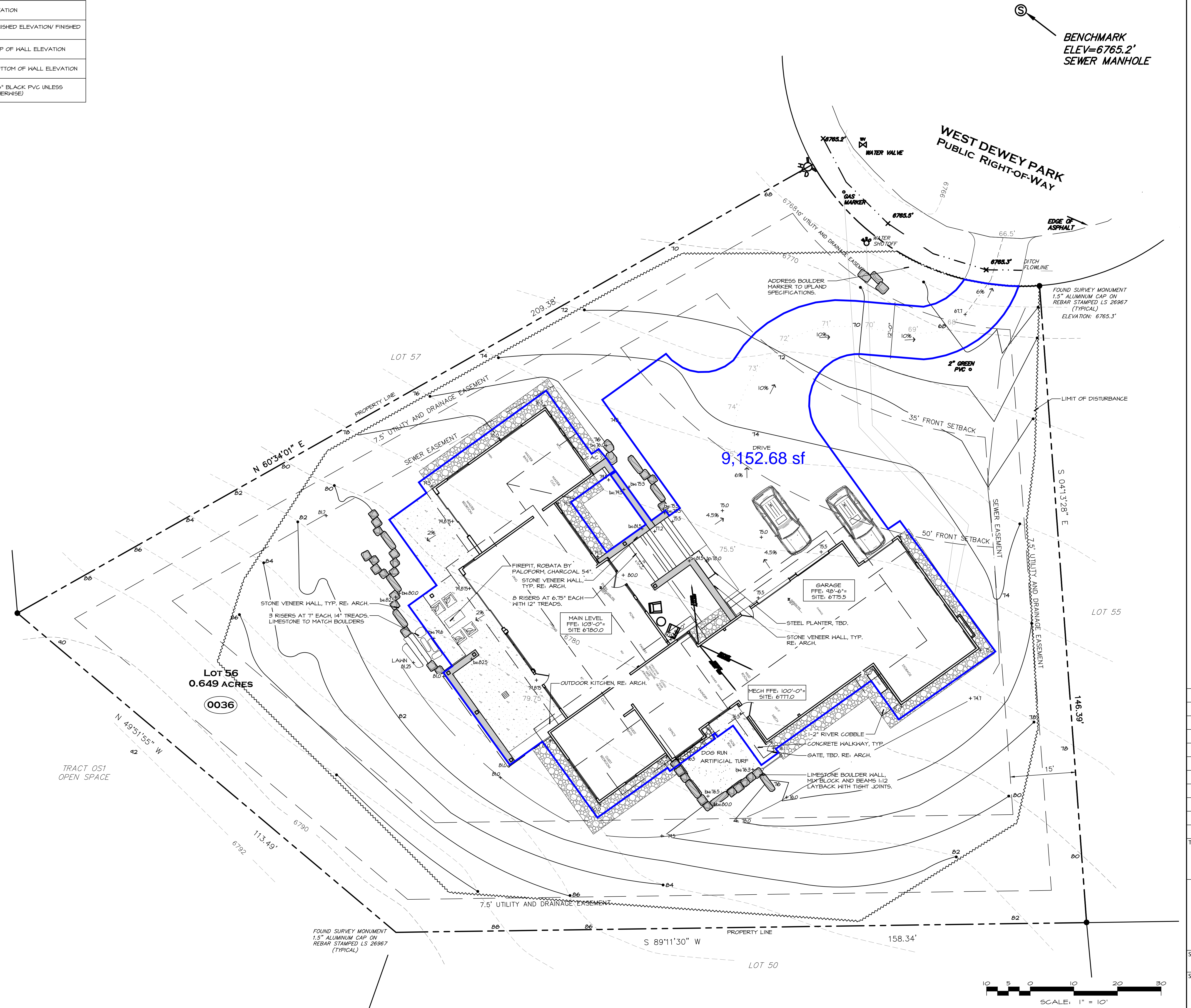
EROSION CONTROL & SITE PROTECTION NOTES & SPECIFICATIONS:

- SILT FENCE OR STRAW BATTLES ARE TO BE PLACED AT THE LIMIT OF CONSTRUCTION AS NEEDED TO PREVENT EROSION AND SEDIMENTATION. A CONSTRUCTION FENCE WILL BE PLACED AT THE LIMIT OF DISTURBANCE WHERE THE SILT FENCE OR HAY BALES ARE NOT USED.
- ALL TREES WITHIN THE LIMITS OF DISTURBANCE THAT ARE TO BE PRESERVED TO BE PROTECTED. AT EVERGREEN TREES WITH SNOW FENCING AT DRIP-LINE. AT DECIDUOUS TREES USE SNOW FENCING AT DRIP-LINE. IF YOU CANNOT PROVIDE SNOW FENCE & DRIP-LINE DUE TO CONSTRUCTION PROXIMITY, HEAP TRUNKS WITH PLASTIC CORRUGATED GULVERT SECTIONS TO A HEIGHT OF 6' OR TO FIRST MAJOR BRANCH. IF IT IS NECESSARY TO DRIVE WITHIN THE DRIP-LINE OF THE TREE, CONTRACTOR SHALL INSTALL 4" OF BARK MULCH OR WOOD CHIPS IN A RING EXTENDING FROM THE TRUNK TO THE TREE'S DRIP LINE.
- SPECIAL CARE NEEDS TO BE TAKEN FOR TREES WITHIN CONSTRUCTION ACCESS ROUTE AND WORK AREAS. PLASTIC CORRUGATED GULVERT SECTIONS WITH INTERIOR INSULATION OF 1.5" MIN. TO SURROUND TREE TRUNK TO A HEIGHT OF 6' OR TO FIRST MAJOR BRANCH.
- ERECT AND MAINTAIN TEMPORARY FENCING AROUND TREE PROTECTION ZONES BEFORE STARTING SITE CLEARING. REMOVE FENCE WHEN CONSTRUCTION IS COMPLETE. DO NOT STORE CONSTRUCTION MATERIALS, DEBRIS, OR EXCAVATED MATERIAL WITHIN FENCED AREA. DO NOT PERMIT VEHICLES, EQUIPMENT OR FOOT TRAFFIC WITHIN FENCED AREA. MAINTAIN FENCED AREA FREE OF WEEDS AND TRASH.
- DO NOT EXCAVATE WITHIN TREE PROTECTION ZONES, UNLESS OTHERWISE INDICATED. WHERE EXCAVATION FOR NEW CONSTRUCTION IS REQUIRED WITHIN TREE PROTECTION ZONES, HAND CLEAR AND EXCAVATE TO MINIMIZE DAMAGE TO ROOT SYSTEMS. USE NARROW-TIRE SPACING FORKS COMB SOIL TO EXPOSE ROOTS AND GENTLY CUT ROOTS AS CLOSE TO EXCAVATION AS POSSIBLE.
 - COVERS EXPOSED ROOTS WITH BURLAP AND WATER REGULARLY.
 - TEMPORARILY SUPPORT AND PROTECT ROOTS FROM DAMAGE UNTIL THEY ARE PERMANENTLY REDIRECTED AND COVERED WITH SOIL.
 - COAT CUT FACES OF ROOTS MORE THAN 1.5" IN DIAMETER WITH AN EMULSIFIED ASPHALT OR OTHER APPROVED COATING FORMULATED FOR USE ON DAMAGED PLANT TISSUES.
 - BACKFILL WITH SOIL AS SOON AS POSSIBLE.
- ALL DISTURBED AREAS NOT DESIGNATED AS SHRUB BEDS, PERENNIAL BEDS, OR LAWN SHALL BE REVEGETATED WITH PRAIRIE BUTTES MOUNTAIN NATIVE GRASS SEED MIX SOWN AT RECOMMENDED RATE UNLESS SPECIFIED OTHERWISE. SEED MIX CONTAINS: STREAMBANK WHEATGRASS, MOUNTAIN BROMEGRASS, SLENDER WHEATGRASS, BLUE WUOLFE, ARIZONA FESCUE, SANDBERG BLUEGRASS, PRAIRIE JUNGGRASS, TUFTED HAIRGRASS.

<https://www.reblessent.com/pbsi-mixes/pbsi-native-mountain-mix/>



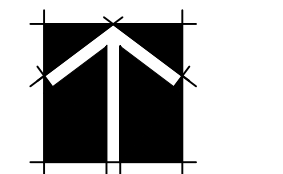
NOTE: SET EACH ROW OF SILT FENCING (S) THREE FEET FROM THE OTHER. IN ADDITION
SILT FENCE
 V.E. & S.C.



36 West Dewey Park
 36 West Dewey Park Place
 Lot 56, Block 3, Eagle Ranch Filing 3

30 August 2024
 DRB Submittal
 07 October 2024
 29 October 2024
 06 December 2024

Title:
SITE PLAN



Scale:
1" = 10'

Sheet:
L1

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PLANTING NOTES & SPECIFICATIONS:

- THE PLANTING PLAN IS DIAGNOSTIC. ALL PLANT LOCATIONS ARE APPROXIMATE. QUANTITIES SHOWN ON THE PLANTING LEGEND ARE APPROXIMATE AND ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. QUANTITIES OF PLANT SYMBOLS SHOWN ON PLANS TAKE PRECEDENCE OVER PLANT QUANTITIES SPECIFIED WITHIN THE LEGENDS/CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN QUANTITIES AND SYMBOLS SHOWN.
- LANDSCAPE CONTRACTOR SHALL APPLY A CONTACT HERBICIDE, WHERE WEEDS ARE PRESENT, PER MANUFACTURER'S SPECIFICATIONS, PRIOR TO COMMENCEMENT OF ANY PLANTING OR IRRIGATION WORK. WEEDS SHALL BE ALLOWED TO COMPLETELY DIE BACK, INCLUDING THE ROOTS BEFORE BEGINNING WORK.
- PLANTS SHALL EXHIBIT HEALTHY GROWTH AND BE FREE OF DISEASES & PESTS.
- ALL CONTAINERIZED PLANTS NEED TO BE TO EDGE OF CONTAINER & HOLD ROOT BALL TOGETHER.
- PRIOR TO PLANTING, THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL AND PLANTING AREAS SHALL BE MOISTENED.
- ALL PLANT MATERIAL SHALL BE PLACED IN PITS HAVING A MINIMUM DIAMETER OF 150 PERCENT OF THE PLANTS TOTAL ROOT BALL OR CONTAINER VOLUME.
- PERENNIAL BEDS SHALL BE BACKFILLED WITH A 3:1 RATIO OF TOPSOIL & COMPOST TO A DEPTH OF 6".
- ALL TREES SHALL HAVE THE ROOT CROWN PLANTED 2" ABOVE THE SURROUNDING FINISHED GRADE. ALL SHRUBS SHALL HAVE THE ROOT CROWN PLANTED 1" ABOVE THE SURROUNDING FINISHED GRADE.
- ALL TREES SHALL HAVE ALL THREE OR OTHER BINDING MATERIAL ROLLED BACK FROM A MINIMUM OF THE TOP ONE THIRD OF THE ROOT BALL PRIOR TO BACKFILLING.
- ALL SHRUB BEDS AND TREE HELLS WILL BE MULCHED WITH TWO (2) INCHES SHREDDED BARK MULCH THROUGHOUT ENTIRE BED. PERENNIAL PLANTING BEDS SHALL NOT RECEIVE BARK MULCH COVER BUT BE TOP DRESSED WITH 1" COMPOST. CONTRACTOR SHALL PROVIDE SAMPLE OF MULCH TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- EVERGREEN TREES 12" IN HEIGHT AND ALL DECIDUOUS TREES ARE TO BE STAKED WITH 5 FOOT STEEL "T" STAKES AND GUYED WITH 1/2 INCH GALVANIZED WIRE AND 1/2 INCH HIGH GREEN NYLON TREE STRAPS. STAKES ARE TO BE REMOVED 3 YEARS FROM DATE OF INSTALLATION UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
- ALL EVERGREEN AND DECIDUOUS TREES SHALL BE PROVIDED WITH AN "EARTHEN SAUCER" AT ITS BASE. SAUCERS ARE TO BE CONSTRUCTED HAVING A MINIMUM SHALLOW DEPTH OF FOUR (4) INCHES. SAUCERS SHALL BE INSTALLED ON DOWNHILL SIDE ONLY WHEN PLANTINGS OCCUR ON A HILLSIDE.
- ALL NEWLY PLANTED TREES & SHRUBS SHALL BE FERTILIZED AT THE TIME OF PLANTING WITH BIOSOL MIX, ALL-PURPOSE FERTILIZER PER MANUFACTURER'S SPECIFICATIONS. FERTILIZER TO BE MIXED IN WITH BACKFILL.
- ALL SOIL AREAS SHALL BE SEPARATED FROM ADJACENT PLANTING BEDS WITH EDGINGS. EDGINGS SHALL BE 1/8" X 4" GALVANIZED STEEL ROLL TOP TACKLED IN PLACE WITH THREE (3) INCH EDGING PINS SPACED EVENLY PER 10' SECTION OF EDGING. OVERLAP EDGINGS BY 1/4" & SECURE OVERLAPPING SECTIONS WITH 2 PINS. EDGINGS SHALL NOT PROTRUDE ABOVE SURROUNDING FINISHED GRADE BY MORE THAN 1/4".
- ALL PLANTING SHALL BE COMPLETED DURING THE NORMAL GROWING SEASON, NO PLANTING SHOULD OCCUR DURING INCLEMENT OR FREEZING WEATHER.
- LANDSCAPE CONTRACTOR SHALL SUPPLY AND DISTRIBUTE COMPOST TO THE SITE. TOPSOIL NATIVE TO THE SITE IS PREFERRED IF AVAILABLE. IF TOPSOIL IS NEEDED FROM OFFSITE, THE TOPSOIL AND COMPOST ARE TO BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER REPRESENTATIVE PRIOR TO DELIVERY. TILL 6" TOPSOIL & 2" COMPOST AND TOP DRESS WITH 1" COMPOST FOR ALL PERENNIAL BEDS. SPREAD TOPSOIL TO A DEPTH OF 3" TO ESTABLISH ALL TURF AREAS. A DEPTH OF 1" FOR ALL DISTURBED AREAS TO RECEIVE NATIVE REVEGETATION AND FOR THE AMENDED BACKFILL OF ALL NEW TREES AND SHRUBS. SCARIFY EXISTING SOIL SURFACE PRIOR TO THE ADDITION OF TOPSOIL TO FORM AN ADEQUATE BOND. FOR FINISH GRADINGS, SOIL SURFACE SHOULD BE A LOOSE MOIST SURFACE. PLANTING SHOULD OCCUR WITHIN 10 DAYS OF SURFACE PREPARATION.
- PREPARATION OF NATIVE GRASS AREAS WILL INCLUDE THE FOLLOWING:
 - LOOSEN SOIL TO A MINIMUM OF 4" DEPTH. REMOVE STONES OVER 2" IN DIAMETER, STICKS, ROOTS, RUBBISH, AND EXTRANEOUS MATTER.
 - DISTRIBUTE 1" OF TOPSOIL TO BE GULCHES INTO NATIVE SOIL.
 - GRADE AREAS TO A SMOOTH, FREE DRAINING EVEN SURFACE WITH A LOOSE, MODERATELY COARSE TEXTURE. REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO DRAIN.
 - ONE APPLICATION OF A BIOSOL FERTILIZER SHALL BE BROUGHT PRIOR TO SEEDING AT A RATE OF 8 LBS. PER 1000 S.F.
- ALL DISTURBED AREAS TO BE REVEGETATED WITH PAVNEE BUTTES MOUNTAIN NATIVE GRASS SEED MIX SHOWN AT RECOMMENDED RATE UNLESS SPECIFIED OTHERWISE.
- MULCH ALL SEED SOAK AREAS WITH 1" - 2" OF CERTIFIED HEDD FREE STRAW OR HAY, ALL STRAW AREAS ARE TO BE TACKIFIED WITH APPROVED ORGANIC TACKIFIER AT THE RATE OF 120 LBS. / ACRE, OR HYDROMULCH IN LIEU OF STRAW OR HAY.
- ALL SEED SOAK AREAS ARE TO BE LIGHTLY RAKED 1/4" INTO THE SOIL AND IRRIGATED.
- LANDSCAPE CONTRACTOR SHALL SUBMIT THE COMPANY'S WRITTEN DOCUMENT REGARDING ITS POLICY ON PLANT GUARANTEE AND REPLACEMENT TO THE OWNER. EACH GUARANTEE SHALL CONFORM TO THE MINIMUM STANDARD OF REPLACING ALL MATERIAL INCLUDING LABOR, DUE TO THE SICKNESS OR DEATH OF A PLANT FOR A PERIOD OF ONE-YEAR FOLLOWING THE PLANT'S INSTALLATION. NURSERY STOCK IS NOT GUARANTEED AGAINST FLOOD, OWNER NEGLIGENCE, VEHICULAR OR LAWN MOWER DAMAGE, STORM DAMAGE, THEFT OR ANIMAL DAMAGE (DOMESTIC OR WILDLIFE).
- CONTRACTOR IS RESPONSIBLE FOR THE PRESERVATION OF EXISTING LANDSCAPE AREA, DAMAGE INCURRED IS TO BE REPAIRED AT THE CONTRACTOR'S COST.
- PERENNIAL SPECIFICATIONS AND LAYOUT PROVIDED BY LANDSCAPE CONTRACTOR IN COORDINATION WITH OWNER.

EROSION CONTROL & SITE PROTECTION NOTES & SPECIFICATIONS:

- SILT FENCING IS TO BE PLACED AT THE LIMIT OF DISTURBANCE AS NEEDED TO PREVENT EROSION AND SEDIMENTATION. A CONSTRUCTION FENCE WILL BE PLACED AT THE LIMIT OF DISTURBANCE WHERE THE SILT FENCE IS NOT USED.
- SILT FENCING IS TO BE PLACED AT BASES OF FILL AND SOIL STOCKPILES TO PREVENT EROSION AND SEDIMENTATION.
- STRAK WATTLES SHALL BE PLACED AT ALL EXISTING AND PROPOSED DRAINAGE SWALES.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN PLACE UNTIL CONSTRUCTION IS COMPLETED.
- ALL DISTURBED AREAS NOT DESIGNATED AS SHRUB BEDS OR PERENNIAL BEDS SHALL BE REVEGETATED WITH THE SPECIFIED SEED MIXTURE. SEE PLANTING NOTES & PLANTING PLAN FOR MORE INFORMATION.
- PROVIDE SILT FENCE AROUND ALL REVEGETATED AREAS FOR A MINIMUM OF ONE YEAR PERIOD OF ESTABLISHMENT.

LIGHTING LEGEND

SYMBOL	QTY.	DESCRIPTION	MANUFACTURER	MODEL
	12	RECESSED WALL LIGHT	WAC LIGHTING	WL-LED100-2T XX
	4	JUNCTION BOX	TBD	TBD

Model: WL-LED100
LEDm² Step Light

WAC LIGHTING
"Responsible Lighting"

Product Type:

Coloring Number:

Project:

Location:

INSTALLATION INSTRUCTIONS:

1. Mounting: The unit is designed to be mounted on a wall or ceiling. The mounting hole diameter is 1.5 inches. The unit is designed to be mounted on a wall or ceiling. The mounting hole diameter is 1.5 inches.

OPERATION:

The unit is designed to be used in a standard 120V AC circuit. The unit is designed to be used in a standard 120V AC circuit.

WARRANTY:

The unit is warranted for a period of 5 years. The unit is warranted for a period of 5 years.

IRRIGATION NOTES & SPECIFICATIONS:

- AUTOMATIC 12" POP-UP SPRAY HEADS OR OTHER LOW-WATER CONSUMPTIVE DELIVERY SYSTEM SHALL BE PROVIDED AT PERENNIAL BEDS. AUTOMATIC 6" POP-UP SPRAY HEADS OR ROTORS SHALL BE PROVIDED FOR LAWN AREAS. ALL OVERHEAD SPRAY IRRIGATION HEADS SHALL BE SPACED ON CENTER PER THEIR COVERAGE RADIUS TO PROVIDE EVEN AND EFFICIENT WATERING.
- AUTOMATIC DRIP IRRIGATION SHALL BE PROVIDED AT ALL NEW TREES AND SHRUBS. USE ONE 2 GPH EMITTER FOR EACH SHRUB, TWO 2 GPH FOR EACH 2" CALIFER ASPEN AND B4B SHRUB, DO NOT USE POINT SOURCE DRIP EMITTERS ON EVERGREEN (PARTICULARLY SPRUCE) TREES. FOR SPRUCE USE INLINE EMITTER TREE WRAPS & 6PH BITTERS WITH 12" SPACINGS. INSTALL ALL DRIP IRRIGATION LINES PER MANUFACTURER SPECIFICATIONS.
- TEMPORARY ABOVE-GROUND AUTOMATIC IRRIGATION ROTOR OR SPRAY TYPE IRRIGATION HEADS SHALL BE PROVIDED AT ALL OTHER DISTURBED AREAS THAT ARE TO BE REVEGETATED AND SHALL BE REMOVED 1 YEAR AFTER PROJECT COMPLETION.
- FLUSH DIRT AND DEBRIS FROM PIPING BEFORE INSTALLING SPRINKLERS AND OTHER DEVICES.
- A LOW VOLTAGE SYSTEM MANUFACTURED EXPRESSLY FOR CONTROL OF AUTOMATIC CIRCUIT VALVES OF AN IRRIGATION SYSTEM SHALL BE INSTALLED. SYSTEM SHALL INCLUDE AN ADJUSTABLE 24 HOUR TIME CLOCK WHICH WILL ALLOW FOR AUTOMATIC, SEMI-AUTOMATIC, OR MANUAL OPERATION AND PROGRAMMABLE CAPABILITIES THAT ALLOW FOR INDEPENDENT WATERING SCHEDULES PER ZONE. THE SYSTEM SHALL INCLUDE A PRESSURE REGULATOR AND BACKFLOW PREVENTOR DEVICE WITH 20 GPM AT 60 PSI AT A 1" POINT OF CONNECTION. NOTIFY LANDSCAPE ARCHITECT IF THE REQUIRED FLOW CANNOT BE MET. PROVIDE OPTIONS FOR SMART CLOCK-CONTROLLER FOR REAL-TIME WEATHER RESPONSE AND REMOTE PROGRAMMING.
- PROVIDE 4" PVC SLEEVINGS BELOW ALL HARDSCAPE TO ADJACENT PLANTING AREAS.
- LAYOUT OF IRRIGATION & CORRESPONDING SOD SHALL BE FIELD ADJUSTED TO AVOID INTERFERENCE W/ ROAD & PLUMBING.
- MAINLINE IS TO BE BURIED 12" MIN. BELOW FINISHED GRADE. LATERAL PIPES SHALL BE BURIED 8"-12" BELOW FINISHED GRADE IN LANDSCAPED AREAS AND A MINIMUM OF 2" BELOW FINISHED GRADE IN NATIVE/DISTURBED AREAS. ALL PIPE TRENCHES SHALL BE FREE OF ROCKS AND DEBRIS PRIOR TO PIPE INSTALLATION. BACKFILL TRENCHES WITH SOIL THAT IS FREE OF ROCKS AND DEBRIS.
- INSTALL ALL DRIP IRRIGATION LINES PER MANUFACTURER SPECIFICATIONS.
- VALVE BOX LOCATIONS ARE TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR IS TO PROVIDE OWNER WITH AS-BUILT IRRIGATION PLANS THAT INCLUDE APPROXIMATE MAINLINE ROUTINGS AND VALVE BOX LOCATIONS.
- THE FOLLOWING IRRIGATION TESTS AND INSPECTIONS SHALL BE COMPLETED BY THE CONTRACTOR:
 - LEAK TEST: AFTER INSTALLATION, CHARGE SYSTEM AND TEST FOR LEAKS. REPAIR LEAKS AND RETEST UNTIL NO LEAKS EXIST.
 - OPERATIONAL TEST: AFTER ELECTRICAL CIRCUITRY HAS BEEN ENERGIZED, OPERATE CONTROLLERS AND AUTOMATIC CONTROL VALVES TO CONFIRM PROPER SYSTEM OPERATION.
 - TEST AND ADJUST CONTROLS AND SAFETIES; REPLACE DAMAGED AND MALFUNCTIONING CONTROLS AND EQUIPMENT.
- CONTRACTOR IS TO PROVIDE START UP AND BLOW-OUT SERVICES FOR IRRIGATION SYSTEM FOR THE FIRST SEASON INSTALLED.
- EXTENT OF IRRIGATION AT REVEGETATED AREAS IS TO COVER LIMITS OF DISTURBANCE. VERIFY LIMITS OF DISTURBANCE ON SITE AND ADJUST ACCORDINGLY. INFORM LANDSCAPE ARCHITECT IF ADDITIONAL IRRIGATION IS REQUIRED.

PLANT LEGEND

TREES

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
	PICEA PUNGENS	COLORADO SPRUCE	8' HT MIN.	5
	POPULUS TREMULOIDES	QUAKING ASPEN	2" MIN.	7
	PRUNUS MAACKII	AMUR CHERRY	2 1/2" CAL.	1

SHRUBS

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
AG	ACER GINALLA 'FLAME'	FLAME AMUR MAPLE	6" B4B CLUMP	2
PO	PHYSCOCARPUS OPALIFOLIUS 'DART'S GOLD'	DART'S GOLD NINEBARK	#5	6
SA	SYMPHORICARPOS ALBUS	WHITE SNOWBERRY	#5	11
SS	SORBARIA SORBIFOLIA 'SEM'	COMPACT URAL FALSE SPIREA	#5	3
SV	SYRINGA VULGARIS	COMMON LILAC	#5	4

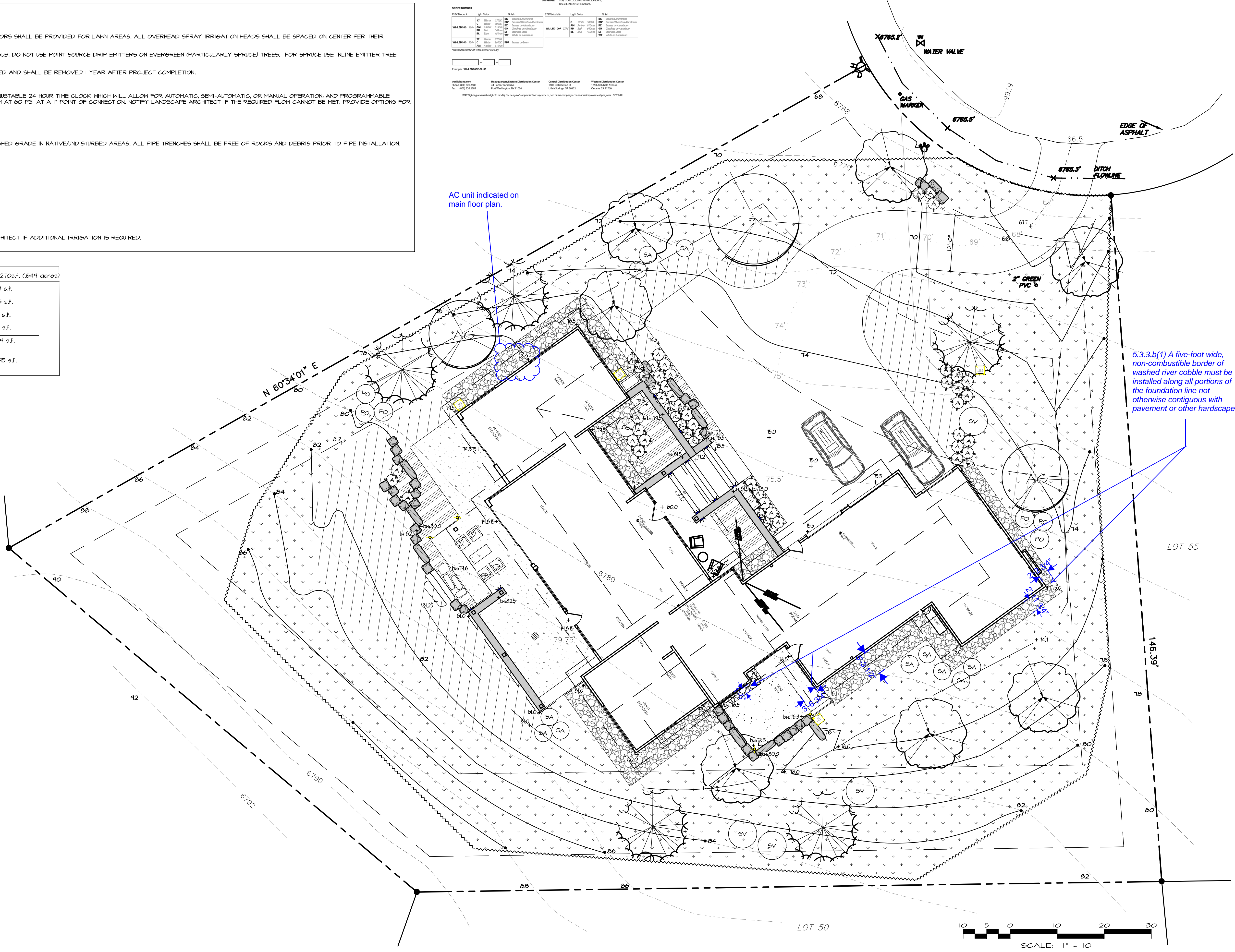
ORNAMENTAL GRASSES

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
A	HELICTOTRICHON SEMPERVIRENS	BLUE AVENA GRASS	#3	41
K	CALAMAGROSTIS KARL FORSTER'	KARL FORSTER GRASS	#5	11

GROUNDCOVERS

SYMBOL	COMMON NAME	SIZE	QUANTITY
	ASSORTED GROUND COVERS AND PERENNIAL FLOWERS	1 GAL.	80
		300 S.F.	F-10
			F-32
			12
	ARTIFICIAL TURF		165 S.F.
	PAVNEE BUTTES LOW GROW NATIVE SEED MIX, WITH PERMANENT IRRIGATION		1,917 S.F.
	PAVNEE BUTTES MOUNTAIN NATIVE SEED MIX, WITH TEMPORARY IRRIGATION		8,430 S.F.

Total Lot Area	28,210 s.f. (6.44 acres)
Bluegrass Lawn (Spray)	231 s.f.
Low Grow Native area (Spray)	665 s.f.
Perennial Area (Spray)	126 s.f.
Drip at Trees and Shrubs	231 s.f.
TOTAL (Permanent) IRRIGATED AREA: (X% Lot Area)	1,254 s.f.
Native Revegetation (Temp. Irr.)	9,495 s.f.



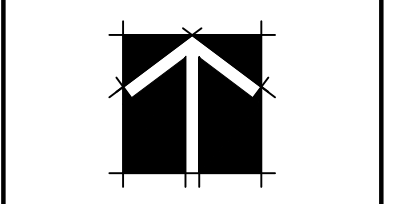
BENCHMARK
ELEV=6765.2'
SEWER MANHOLE

5.3.3.b(1) A five-foot wide, non-combustible border of washed river cobble must be installed along all portions of the foundation line not otherwise contiguous with pavement or other hardscape

36 West Dewey Park
36 West Dewey Park Place
Lot 56, Block 3, Eagle Ranch Filing 3

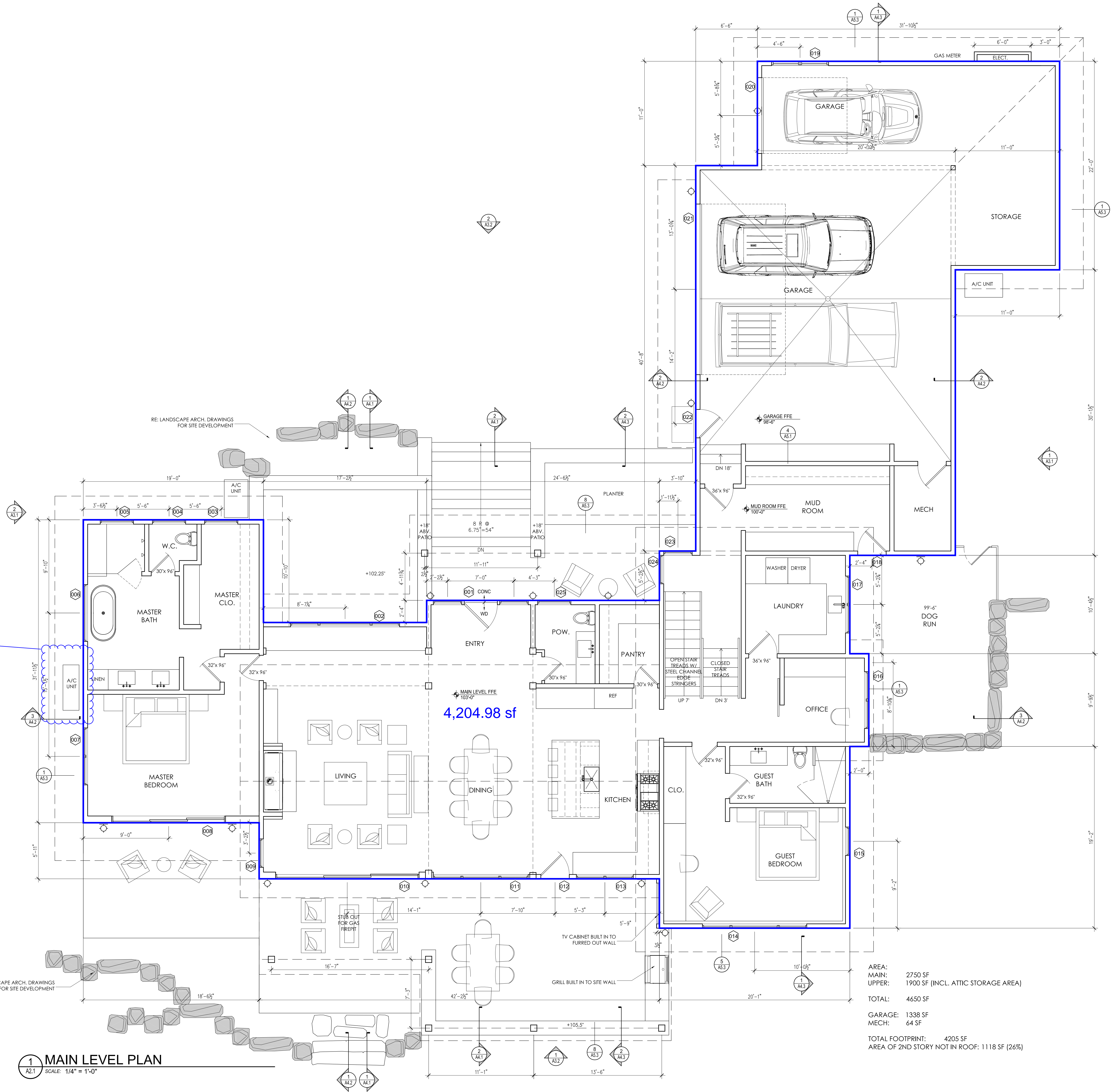
- 30 August 2024 DRB Submittal
- 07 October 2024
- 30 October 2024
- 06 December 2024

Title: **PLANTING AND LIGHTING PLAN**



Scale: **1" = 10'**

Sheet: **L2**
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This AC unit not shown on site/landscape plan.

4,204.98 sf

AREA: 2750 SF
 MAIN: 1900 SF (INCL. ATTIC STORAGE AREA)
 UPPER: 850 SF
 TOTAL: 4650 SF

GARAGE: 1338 SF
 MECH: 64 SF

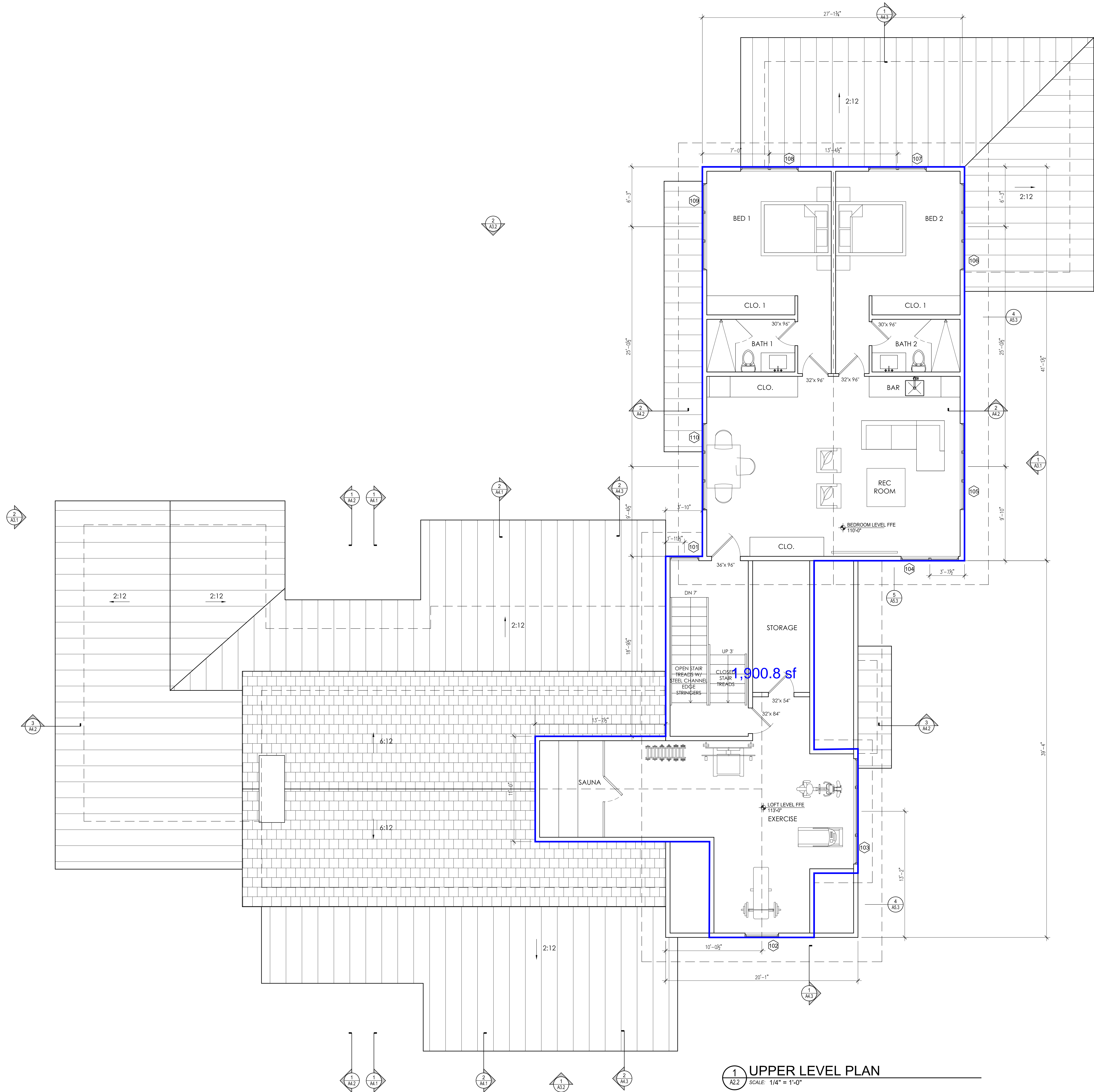
TOTAL FOOTPRINT: 4205 SF
 AREA OF 2ND STORY NOT IN ROOF: 1118 SF (26%)

1 A2.1 MAIN LEVEL PLAN
 SCALE: 1/4" = 1'-0"

- BUILDING NOTES:
- MAIN LEVEL TO BE FINISHED FLOORING OVER CONC. SLAB WITH FLOOR RADIANT HEAT OVER VARIOUS BARRIERS OVER RIGID INSULATION OVER 4" ORVEL OVER WELLS COMPACTED GRADE.
 - GARAGE TO BE CONC. SLAB ON GRADE WITH FLOOR RADIANT HEAT OVER VARIOUS BARRIERS OVER RIGID INSULATION OVER 4" ORVEL OVER WELLS COMPACTED GRADE. SLOPE GARAGE SLAB TO DRAIN.
 - COMPLETE FLOORING OVER RIGID INSULATION OVER 4" ORVEL OVER WELLS COMPACTED GRADE.
 - UPPER LEVEL FLOOR CONSTRUCTION TO BE FINISHED FLOORING OVER BEARING WOOD JOIST OR IN FLOOR RADIANT HEAT OVER ENGINEERED JOIST. SEE STRUCT. ROOMS TO BE PREFABRICATED TRUSSES, LUMBER, OR ENGINEERED FRAMING. SEE STRUCT.
 - APPLY 5/8" TYPE V DRYWALL TO FACE OF GARAGE WALLS AND CEILING AT ALL SEPARATIONS BETWEEN GARAGE AND OVERLAPPING JOIST.
 - ALL PENETRATIONS TO MEET REQUIRED WEIGHTED AVERAGE MAX U-VALUE .30.
 - ALL ROOFS TO BE INSULATED TO MIN. R-38 AT TRUSSES. INSULATION TO BE INSTALLED AT TOP CHORD. NO VENTILATION IN TRUSS SPACE.
 - ALL ROOFING TO BE CLASS B FIRE RATED.
 - ALL EXTERIOR WALLS TO BE INSULATED WITH MIN. R-20 INSULATION AT CAVITY. REQUIRED S.A.R. VALUE TO BE 10 TO 14. AT POINTS S.A.R. IS TO BE ADDED AT SLAB EDGE.
 - FLOOR R VALUE TO BE MIN. 30.
 - CRAWLSPACE/BASMENT CONC. WALL INSULATION TO BE R-13 INSUL. AND FURRING AT INTERIOR OF WALL AND R-5 INSULATION AND DRAINAGE PLANE AT EXTERIOR.
 - AIR CONDENSING TO BE DUCTED A/C OR HEAT PUMP MAIN UNIT SYSTEM, WHERE MECHANICAL EQUIPMENT AND DUCTS ARE RETURN CRAWLSPACE SPACES TO BE CONDENSED.
 - WHERE UNCONDENSED CRAWLSPACE FLOORS ARE INSULATED TO R-30.
 - CRAWLSPACE WALL INSULATION IS NOT REQUIRED.
 - INSTALL AIR BARRIERS PER IBCS TABLE 602.1.1.
 - BOILERS TO BE MIN. 92% EFFICIENT APPL.

ISSUED FOR:	DATE:
DRB PREDESIGN	7-5-24
PROGRESS	7-15-24
DRB PRELIMINARY	8-2-24
DRB FINAL	12-8-24

SHEET SCALE: 1/4" = 1'-0"
 DRAWN BY: PK
 PROJECT: 36 DEWEY PARK
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 KRUEGER ARCHITECTURE & DESIGN



- BUILDING NOTES:**
- MAIN LEVEL TO BE FINISHED FLOORING OVER CONC. SLAB WITH IN FLOOR RADIANANT HEAT. OVER VAPOUR BARRIER OVER RIGID INSULATION OVER 4" GRAVEL OVER WELL COMPACTED GRADE.
 - GARAGE FLOOR TO BE FINISHED FLOORING OVER CONC. SLAB WITH IN FLOOR RADIANANT HEAT. OVER VAPOUR BARRIER OVER RIGID INSULATION OVER 4" GRAVEL OVER WELL COMPACTED GRADE. SLOPE GARAGE SLAB TO DRAIN.
 - CONCRETE FOUNDATION WALLS AND SPREAD FOOTINGS. RE. STRUCT.
 - UPPER LEVEL FLOOR CONSTRUCTION TO BE FINISHED FLOORING OVER SHAPING WITH STAPLE UP IN FLOOR RADIANANT HEAT OVER ENGINEERED JOISTS. RE. STRUCT.
 - ROOF TO BE PRE-FABRICATED TRUSSES, LUMBER, OR ENGINEERED FRAMING. RE. STRUCT.
 - APPLY 5/8" TYPE 'X' DRYWALL TO FACE OF GARAGE WALLS AND CEILING AT ALL SEPARATIONS BETWEEN GARAGE AND DWELLING UNIT.
 - ALL PENETRATIONS TO BEET REQUIRED VERTICAL AVERAGE MAX LEAKAGE .30
 - ALL ROOFS TO BE INSULATED TO MIN. R-40. AT TRUSSES. INSULATION TO BE INSTALLED AT TOP CHORD. NO WRAP IN ROOF SPACE.
 - ALL FLOORING TO BE CLASS A FIRE RATED.
 - ALL EXTERIOR WALLS TO BE INSULATED WITH MIN. R-25 INSULATION AT CAVITY.
 - INSULATED DOOR FRAME TO BE R-10 TO 4". AT HEATED SLAB. R-5 TO BE ADDED AT SLAB EDGE.
 - FLOOR FINISH TO BE MIN. 30
 - CRAWLSPACE/RAMPMENT CONC. WALL INSULATION TO BE R-13 INGL. AND FIBREGLASS AT INTERIOR OF WALL AND R-10 INSULATION AND DRAINAGE FLANGE AT EXTERIOR.
 - ARE CONDENSING TO BE DUCTED A/C OR HEAT PUMP MIN SPUR SYSTEM WHERE MECHANICAL EQUIPMENT AND DUCTS ARE RUN IN CRAWLSPACE. SPACE E TO BE CONCRETE.
 - WHERE UNCONDITIONED CRAWLSPACE FLOORS ARE INSULATED TO R-30.
 - CRAWLSPACE WALL INSULATION IS NOT REQUIRED.
 - INSTALL AIR BARRIERS PER IECC TABLE R402.4.1.1
 - ROOFERS TO BE MIN. 7/8" STEEPNESS. MIN.

1 UPPER LEVEL PLAN
SCALE: 1/4" = 1'-0"

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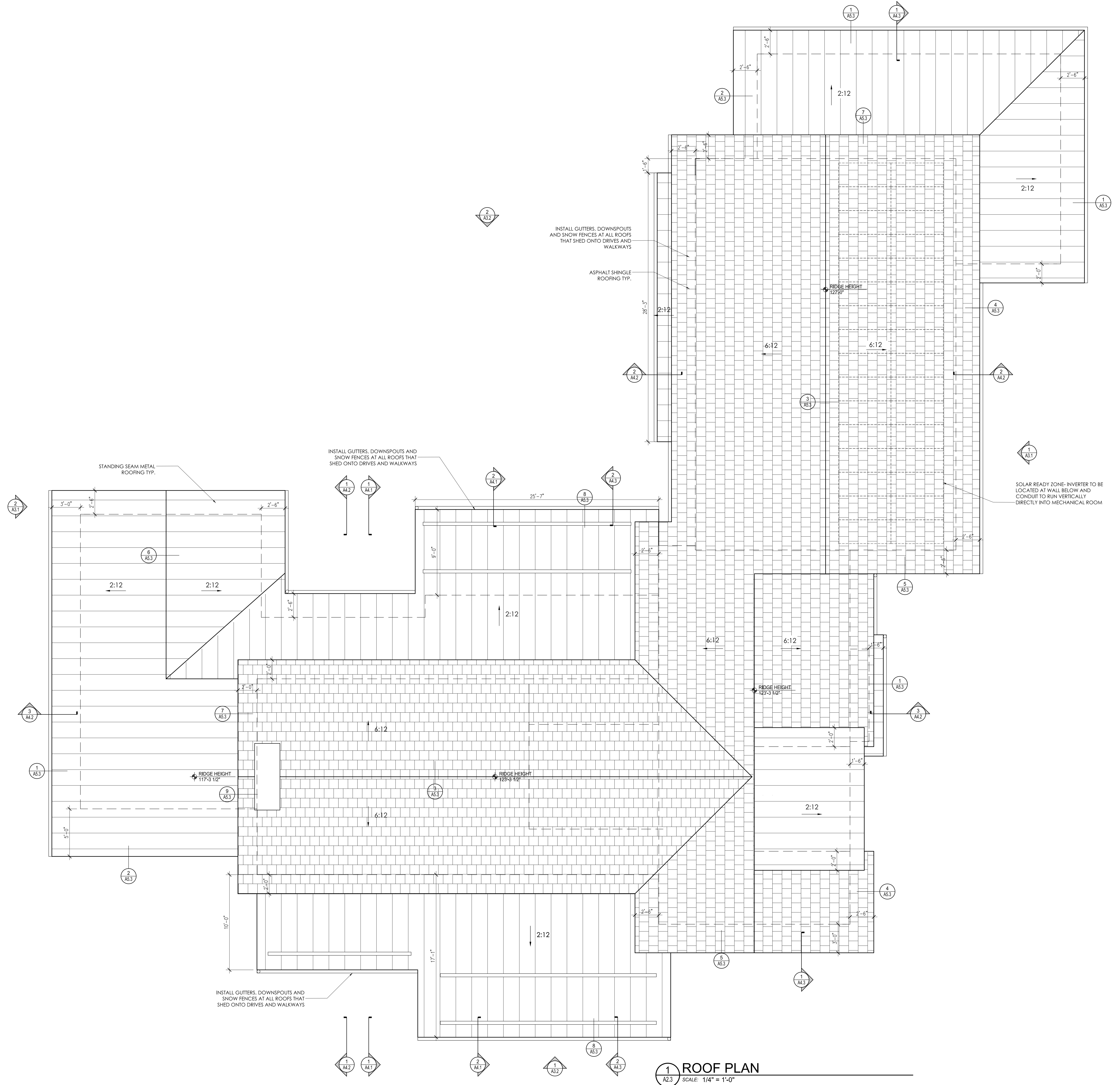
KRUEGER ARCHITECTURE
& DESIGN

36 WEST DEWEY PARK
LOT 56, BLOCK 3, EAGLE RANCH FILING 3
36 WEST DEWEY PARK PLACE

ISSUED FOR:	DATE:
DRB PREDESIGN	7-5-24
PROGRESS	7-15-24
DRB PRELIMINARY	9-2-24
DRB FINAL	12-6-24

SHEET SCALE: 1/4" = 1'-0"
DRAWN BY: PK
PROJECT: 36 DEWEY PARK
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FLOOR PLANS
A2.2



- BUILDING NOTES:**
- MAIN LEVEL TO BE FINISHED FLOORING OVER CONC. SLAB WITH IN FLOOR RADIANT HEAT OVER CARBON BARBER OVER ROOF INSULATION OVER 4\"/>
 - GARAGE TO BE CONC. SLAB ON GRADE WITH IN FLOOR RADIANT HEAT OVER CARBON BARBER OVER ROOF INSULATION OVER 4\"/>
 - CONCRETE FOUNDATION WALLS AND BREAK ROOMS, RE. STRUCT. REQUIRED TO BE CLASS A FIRE PARTITION.
 - ALL EXTERIOR WALLS TO BE INSULATED WITH MIN. R-13 INSULATION AT CAVITY REQUIRED. SLAB R-VALUE TO BE R-10 TO 4\"/>
 - FLOOR R-VALUE TO BE MIN. 30.
 - CRAWLSPACE/MECH. CHOC. WALL INSULATION TO BE R-13 INSUL. AND FINISH AT INTERIOR OF WALL AND R-8 INSULATION AND DRAINAGE PLANE AT EXTERIOR.
 - AIR CONDENSING TO BE DUCTED A/C OR HEAT PUMP WITH DRIP SYSTEMS, WHERE MECHANICAL EQUIPMENT AND DUCTS ARE IN CRAWLSPACE, SPACES TO BE CONDENSED.
 - WHERE UNCONDENSED CRAWLSPACE FLOORS ARE INSULATED TO R-30, CRAWLSPACE WALL INSULATION IS NOT REQUIRED.
 - INSTALL AIR BARRIERS PER IBC, TABLE 602.4.1.1.
 - SOLETS TO BE MIN. 95% EFFICIENT TYPE.

1 ROOF PLAN
SCALE: 1/4" = 1'-0"

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KRUEGER ARCHITECTURE
& DESIGN

36 WEST DEWEY PARK
LOT 56, BLOCK 3, EAGLE RANCH FILING 3
36 WEST DEWEY PARK PLACE

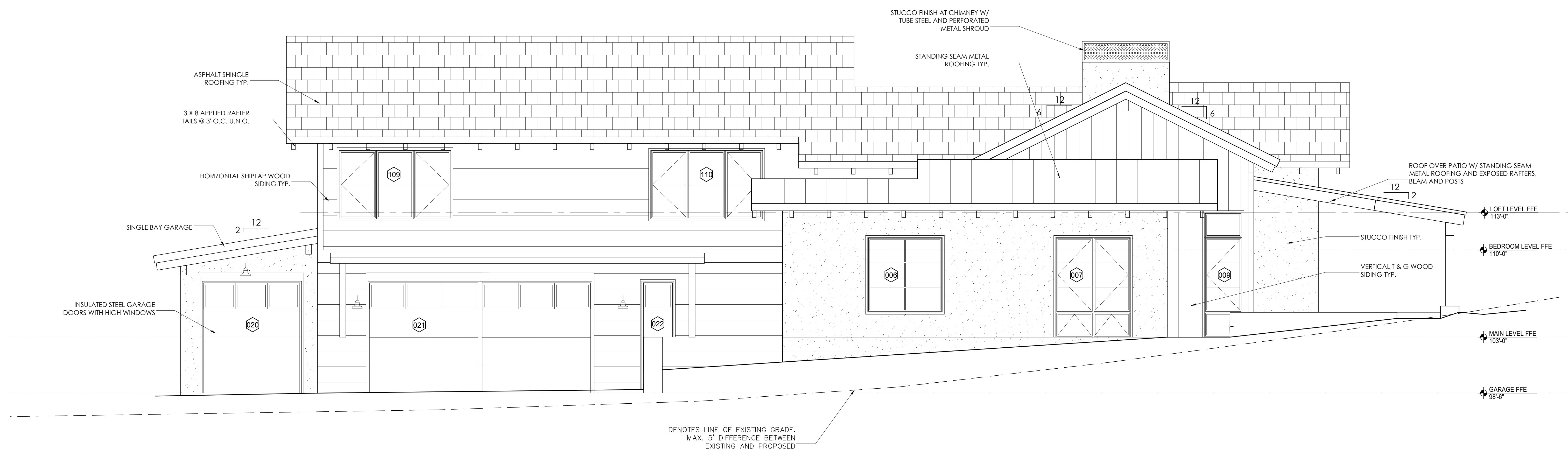
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DRB PREDESIGN	7-5-24
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SHEET SCALE: 1/4" = 1'-0"
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PROJECT: 36 DEWEY PARK
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KRUEGER ARCHITECTURE & DESIGN

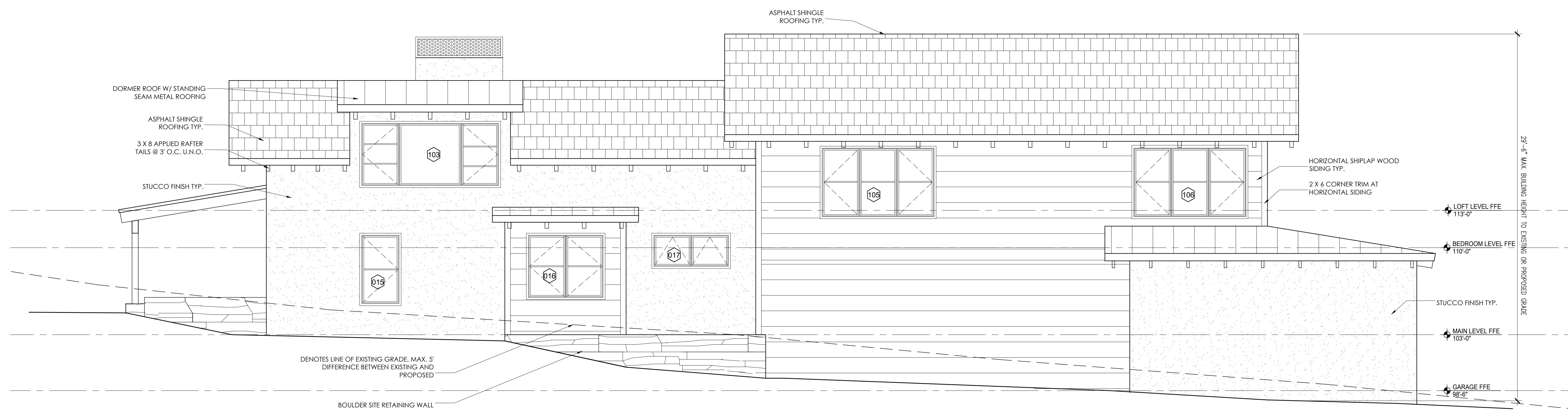
FLOOR PLANS
A2.3

ISSUED FOR:	DATE:
DRB PREDESIGN	7-5-24
PROGRESS	7-15-24
DRB PRELIMINARY	9-2-24
DRB FINAL	12-6-24

SHEET SCALE: 1/4" = 1'-0"
 DRAWN BY: PK
 PROJECT: 36 DEWEY PARK
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2 WEST ELEVATION
 A3.1 SCALE: 1/4" = 1'-0"

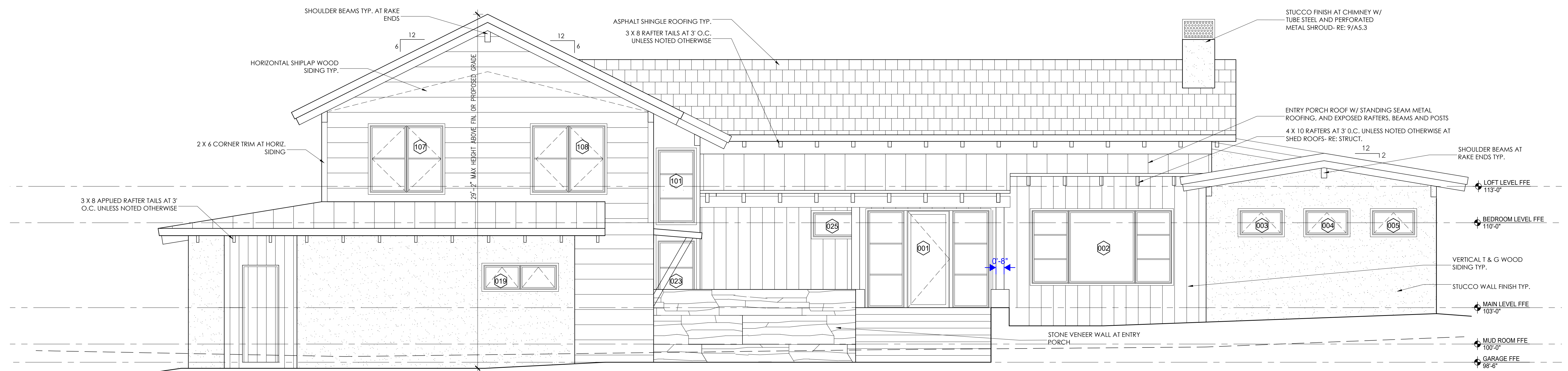


1 EAST ELEVATION
 A3.1 SCALE: 1/4" = 1'-0"

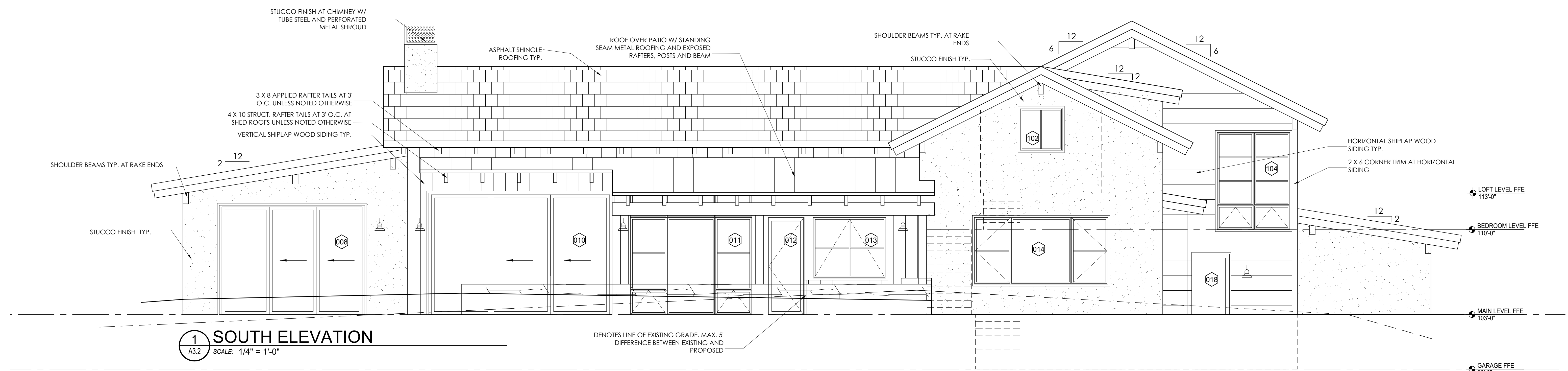
- BUILDING NOTES:**
- MAIN LEVEL TO BE FINISHED FLOORING OVER CONCRETE SLAB WITH IN FLOOR RADIANT HEAT OVER VAPOR BARRIER OVER RIGID INSULATION OVER 4" GRAVEL OVER WELL COMPACTED GRADE.
 - GARAGE TO BE CONCRETE SLAB ON GRADE WITH IN FLOOR RADIANT HEAT OVER VAPOR BARRIER OVER RIGID INSULATION OVER 4" GRAVEL OVER WELL COMPACTED GRADE. SLOPE GARAGE SLAB TO DRAINS.
 - CONCRETE FOUNDATION WALLS AND SPECIAL FOOTINGS, RE-STRUCT, UPPER LEVEL FLOOR CONSTRUCTION TO BE FINISHED FLOORING OVER SHEATHING WITH STAPLE UP IN FLOOR RADIANT HEAT OVER ENGINEERED JOISTS. RE-STRUCT ROOFING TO BE PRE-FABRICATED TRUSSES, LUMBER, OR ENGINEERED FRAMING. RE-STRUCT.
 - ALL 1" THICK PIPE & DRYWALL TO FACE OF GARAGE WALLS AND CEILING AT ALL SEPARATIONS BETWEEN GARAGE AND DWELLING UNITS.
 - ALL FLOORING TO BE FINISHED FLOORING OVER SHEATHING OVER 3/4" OSB.
 - ALL ROOFS TO BE INSULATED TO MIN. R-40. AT TRUSSES, INSULATION TO BE INSTALLED AT TOP CHORDS, NO INSULATION IN TRUSS SPACE.
 - ALL ROOFING TO BE CLASS A FIRE RATED.
 - ALL EXTERIOR WALLS TO BE INSULATED WITH MIN. R-20 INSULATION AT CAVITY. REQUIRED SLAB R-VALUE TO BE R-10 TO 4" AT HEATED SLAB. R-5 TO BE ADDED AT SLAB EDGE.
 - FLOOR R-VALUE TO BE MIN. 30.
 - CRAWLSPACE/UNDERMINI CONCRETE WALL INSULATION TO BE R-13 INSUL AND FURNISH AT INTERIOR OF WALL AND R-5 INSULATION AND DRAINAGE PLANE AT EXTERIOR.
 - AIR CONDITIONING TO BE DUCTED A/C OR HEAT PUMP WITH 95% SYSTEM, WHERE MECHANICAL EQUIPMENT AND DUCTS ARE RUN IN CRAWLSPACE, SPACE IS TO BE CONDITIONED.
 - WHERE UNCONDITIONED CRAWLSPACE FLOORS ARE INSULATED TO R-30.
 - CRAWLSPACE WALL INSULATION IS NOT REQUIRED.
 - INSTALL AIR BARRIERS PER ICC TABLE R402.4.1.1.
 - BOULDERS TO BE MIN. 50% EFFICIENCY RATE.

ISSUED FOR:	DATE:
DRB PREDESIGN	7-5-24
PROGRESS	7-15-24
DRB PRELIMINARY	9-2-24
DRB FINAL	12-6-24

SHEET SCALE:	1/4" = 1'-0"
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PROJECT:	36 DEWEY PARK
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2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

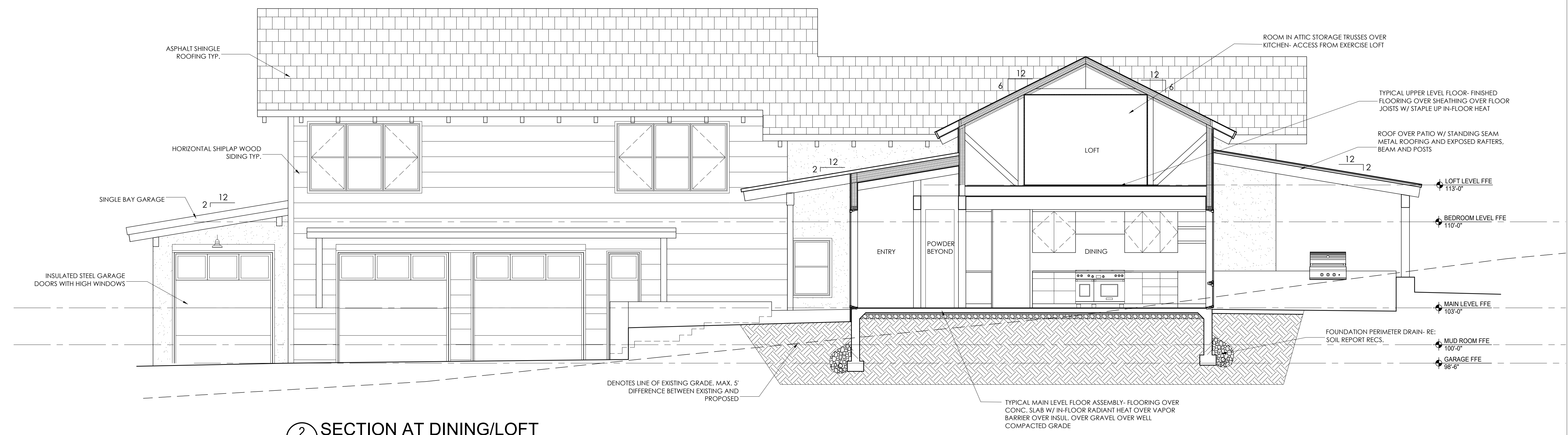


1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

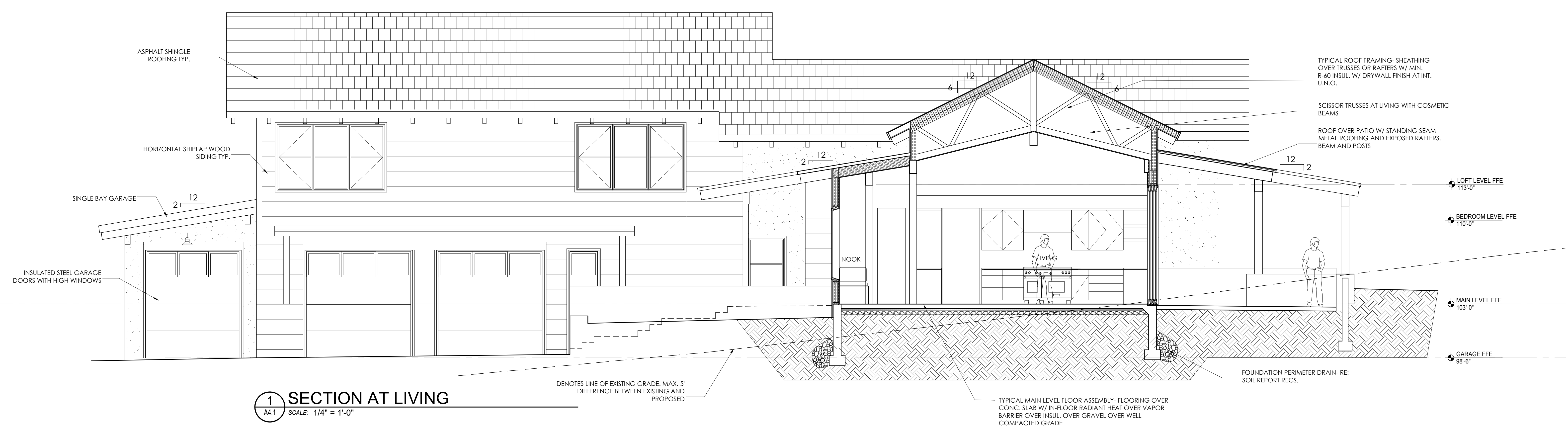
- BUILDING NOTES:**
- MAIN LEVEL TO BE FINISHED FLOORING OVER CONC. SLAB WITH IN FLOOR RADIANT HEAT OVER VAPOR BARRIER OVER RIGID INSULATION OVER 4" GRAVEL OVER WELL COMPACTED GRADE.
 - GARAGE TO BE CONC. SLAB ON GRADE WITH IN FLOOR RADIANT HEAT OVER VAPOR BARRIER OVER RIGID INSULATION OVER 4" GRAVEL OVER WELL COMPACTED GRADE. SLOPE GARAGE SLAB TO DRAIN.
 - CONCRETE FOUNDATION WALLS AND SPREAD FOOTINGS: RE STRUCT.
 - UPPER LEVEL FLOOR CONSTRUCTION TO BE FINISHED FLOORING OVER SHEATHING WITH DRAIN UP IN FLOOR RADIANT HEAT OVER ENGINEERED JOISTS. RE STRUCT. JOISTS TO BE PRE-FABRICATED TRUSSES, LUMBER, OR ENGINEERED FRAMING. RE STRUCT.
 - APPLY 5/8" TYPE 'X' DRYWALL TO FACE OF GARAGE WALLS AND CEILING AT ALL SEPARATIONS BETWEEN GARAGE AND DWELLING TIME.
 - ALL PENETRATIONS TO MEET REQUIRED WEIGHTED AVERAGE MAX U-VALUE .30
 - ALL ROOFS TO BE INSULATED TO MIN. R-30. AT TRUSSES INSULATION TO BE INSTALLED AT TOP CHORD AND VENTILATION IN TRUSS SPACE.
 - ALL ROOFS TO BE CLASS A FIRE RATED.
 - ALL EXTERIOR WALLS TO BE INSULATED WITH MIN. R-25 INSULATION AT CAVITY. REQUIRED S-I-B VALUE TO BE R-10 TO 14. AT HEADS S-I-B R-10 TO BE ADDED AT SLAB EDGE.
 - FLOOR S-I-B VALUE TO BE MIN. 30
 - CRAWLSPACE/BASEMENT CONC. WALL INSULATION TO BE R-13 INSUL. AND FIBERGLASS AT INTERIOR OF WALL AND R-5 INSULATION AND SPACER PLANE AT EXTERIOR.
 - MECHANICAL EQUIPMENT AND DUCTS ARE WITH IN CRAWLSPACE. SPACES TO BE CONDITIONED.
 - WHERE UNCONDITIONED CRAWLSPACE FLOORS ARE INSULATED TO R-30 CRAWLSPACE WALL INSULATION IS NOT REQUIRED.
 - INSTALL AIR BARRIERS PER EC2 TABLE R604.1.1
 - BOILERS TO BE MIN. 92% EFFICIENT RATE.

ISSUED FOR:	DATE:
DRB PREDESIGN	7-5-24
PROGRESS	7-15-24
DRB PRELIMINARY	9-2-24
DRB FINAL	12-6-24

SHEET SCALE: 1/4" = 1'-0"
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2 SECTION AT DINING/LOFT
A4.1 SCALE: 1/4" = 1'-0"

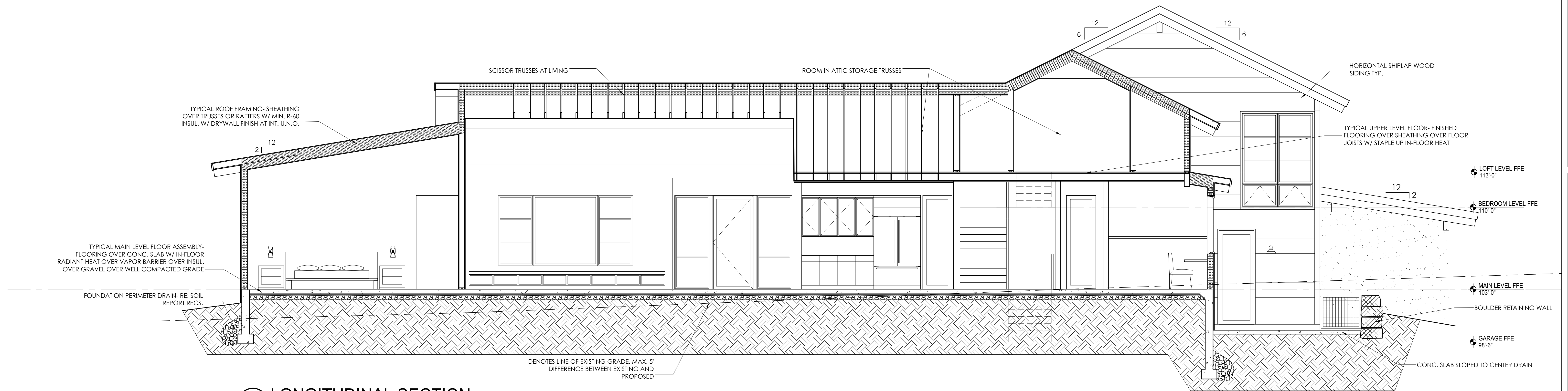


1 SECTION AT LIVING
A4.1 SCALE: 1/4" = 1'-0"

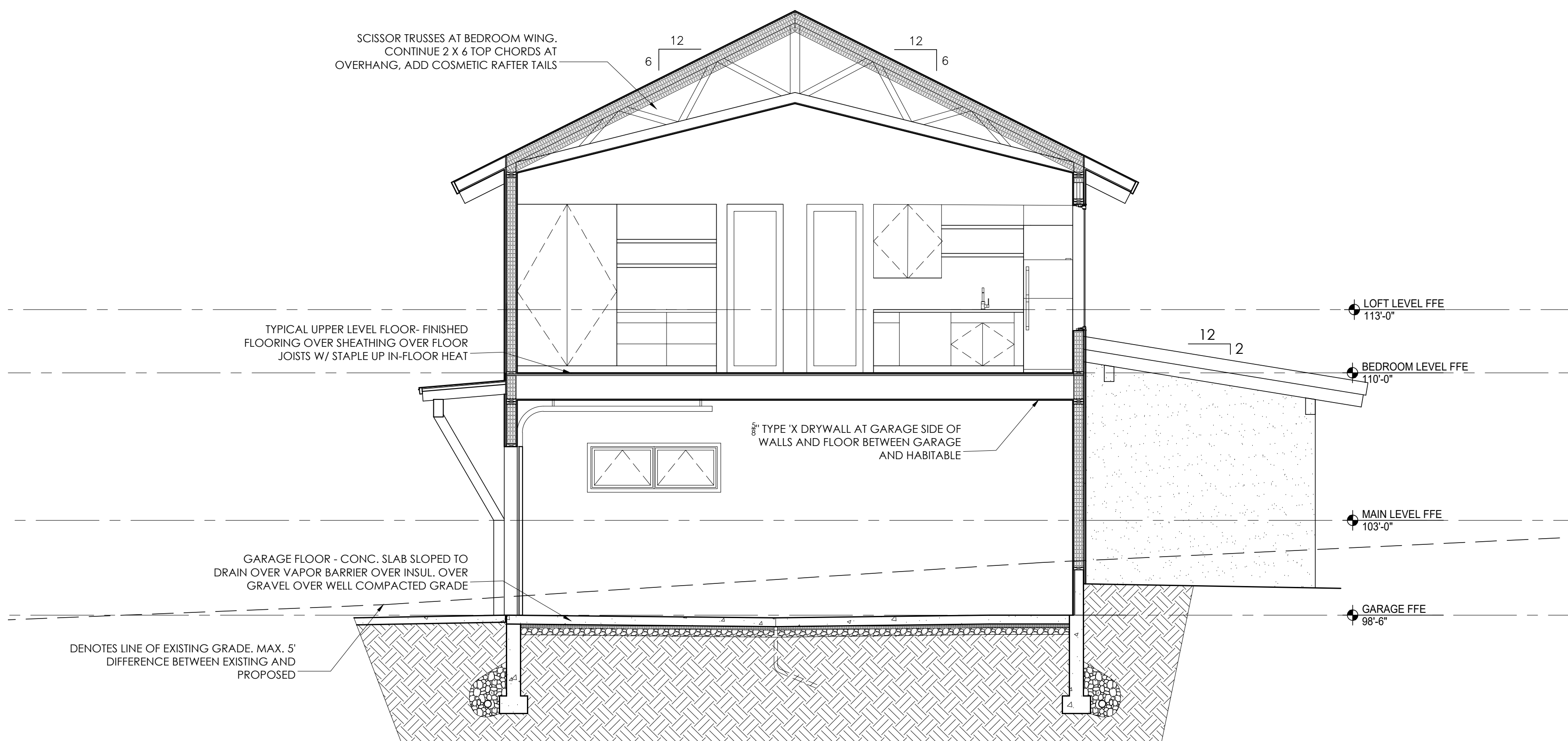
- BUILDING NOTES:
- MAIN LEVEL TO BE FINISHED FLOORING OVER CONC. SLAB. WITH IN FLOOR RADIANT HEAT OVER VAPOR BARRIER OVER FLOOR INSULATION OVER 4" GRAVEL OVER WELL COMPACTED GRADE.
 - GARAGE TO BE CONC. SLAB ON GRADE WITH IN FLOOR RADIANT HEAT OVER VAPOR BARRIER OVER RIGID INSULATION OVER 4" GRAVEL OVER WELL COMPACTED GRADE. SLOPE GARAGE SLAB TO DRAIN.
 - CONCRETE FOUNDATION WALLS AND SPREAD FOOTINGS. RE: STRUCT. UPPER LEVEL FLOOR CONSTRUCTION TO BE FINISHED FLOORING OVER SHEATHING WITH STAPLE UP IN-FLOOR RADIANT HEAT OVER ENGINEERED JOISTS. RE: STRUCT. BOARDS TO BE PRE-FABRICATED TRUSSES, LUMBER, OR ENGINEERED FRAMING. RE: STRUCT.
 - APPLY "GYP" TYPE "X" DRYWALL TO FACE OF GARAGE WALLS AND CEILINGS AT ALL SEPARATIONS BETWEEN GARAGE AND DWELLING INT.
 - ALL PENETRATION TO MEET REQUIRED WEIGHTED AVERAGE RAV VALUE .30
 - ALL ROOFS TO BE INSULATED TO MIN. R-10. AT TRUSSES INSULATION TO BE RETALLED AT TOP CHORD. NO VENTILATION IN TRUSS SPACE.
 - ALL ROOFING TO BE CLASS A FIRE RATED.
 - ALL EXTERIOR WALLS TO BE INSULATED WITH MIN. R-25 INSULATION AT CAVITY. REQUIRED SLAB R-VALUE TO BE R-10 TO 11. AT TRUSS SLAB. R-5 TO BE ADDED AT SLAB EDGE.
 - ROOF R-VALUE TO BE MIN. 30
 - CRAWLSPACE/BASEMENT CONC. WALL INSULATION TO BE 6" RIGID. AND FINISHED AT INTERIOR OF WALL AND R-5 INSULATION AND DRAINAGE PLANE AT EXTERIOR.
 - AIR CONDITIONING TO BE DUCTED A/C OR HEAT PUMP MIN SPLIT SYSTEM. WHERE MECHANICAL EQUIPMENT AND DUCTS ARE WITH IN CRAWLSPACE SPACE IS TO BE CONDENSIBLE.
 - WHERE UNCONDITIONED CRAWLSPACE FLOORS ARE INSULATED TO R-30. CRAWLSPACE WALL INSULATION IS NOT REQUIRED.
 - INSTALL AIR BARRIER PER IBCS TABLE 602.4.1.1
 - BOILERS TO BE MIN. 92% EFFICIENT AFUE

BUILDING NOTES

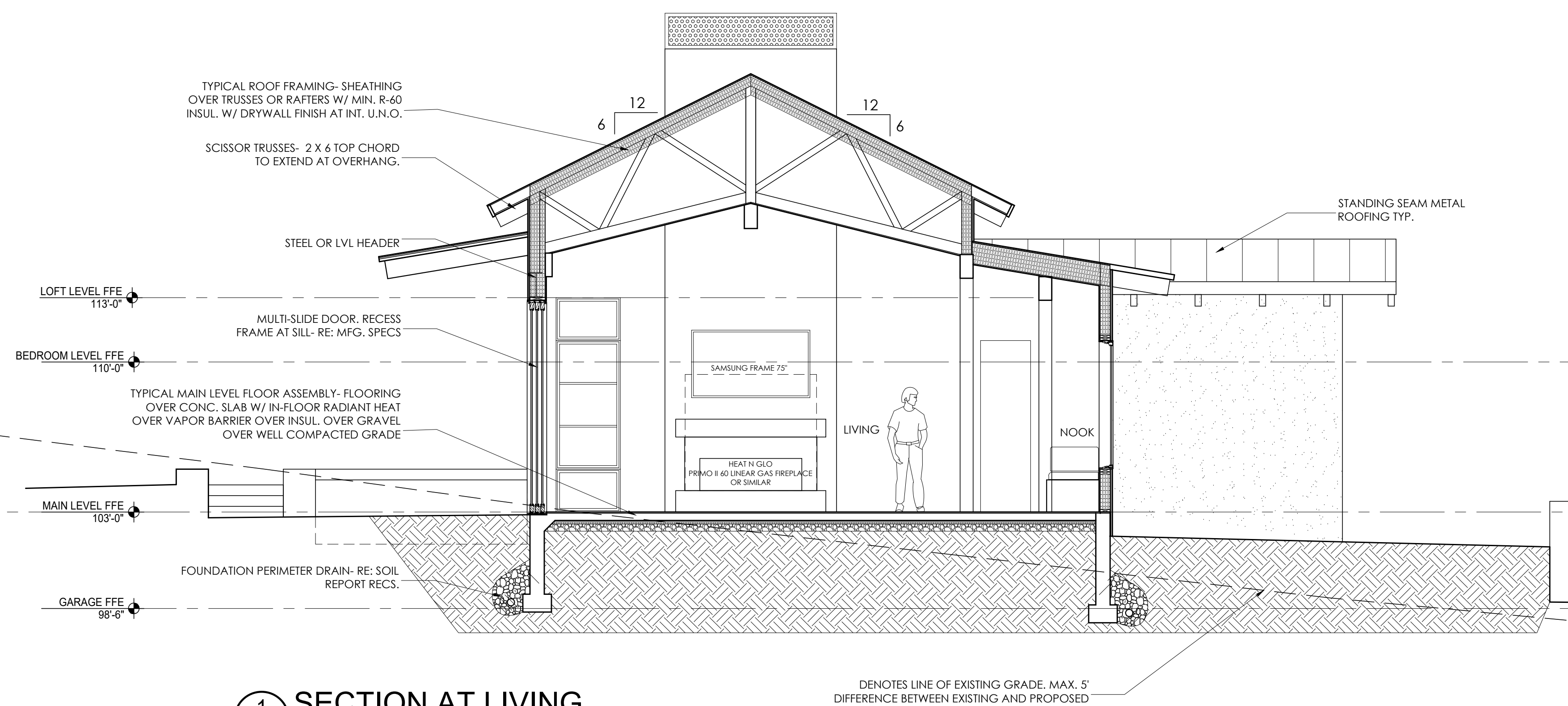
- MAIN LEVEL TO BE FINISHED FLOORING OVER CONC. SLAB, WITH IN-FLOOR RADIANT HEAT OVER VAPOR BARRIER OVER RIGID INSULATION OVER 4" GRAVEL OVER WELL COMPACTED GRADE.
- GARAGE TO BE CONC. SLAB ON GRADE WITH IN-FLOOR RADIANT HEAT OVER VAPOR BARRIER OVER RIGID INSULATION OVER 4" GRAVEL OVER WELL COMPACTED GRADE.
- CONCRETE FOUNDATION WALLS AND SPREAD FOOTINGS: RE. STRUCT.
- UPPER LEVEL FLOOR CONSTRUCTION TO BE FINISHED FLOORING OVER SHEATHING WITH STAPLE UP IN-FLOOR RADIANT HEAT OVER ENGINEERED JOISTS. RE. STRUCT.
- ROOF TO BE PER FABRICATED TRUSSES, LUMBER OR ENGINEERED FRAMING. RE. STRUCT.
- APPLY 1/2" TYPE X DRYWALL TO FACE OF GARAGE WALLS AND CEILING AT ALL SEPARATIONS BETWEEN GARAGE AND DWELLING UNIT.
- ALL PENETRATIONS TO BEE REQUIRED WEIGHTED AVERAGE MAX U-VALUE .30.
- ALL ROOFS TO BE INSULATED TO MIN. R-40. AT TRUSSES INSULATION TO BE INSTALLED AT TOP CHORD. NO VENTILATION IN TRUSS SPACE.
- ALL ROOFING TO BE CLASS A FIRE RATED.
- ALL EXTERIOR WALLS TO BE INSULATED WITH MIN. R-25 INSULATION AT CAVITY.
- REQUIRED SLAB R-VALUE TO BE R-10 TO 4" AT HEATED SLAB. R-5 TO BE ADDED AT SLAB EDGE.
- FLOOR R-VALUE TO BE MIN. 30.
- CRAWLSPACE/BASEMENT CONC. WALL INSULATION TO BE R-13 INSUL. AND FINISH AT INTERIOR OF WALL AND R-5 INSULATION AND DRAINAGE FLASH AT EXTERIOR.
- AIR CONDITIONING TO BE DUCTED A/C OR HEAT PUMP AIR-SPLIT SYSTEM, WHERE MECHANICAL EQUIPMENT AND DUCTS ARE RUN IN CRAWLSPACE, SPACE IS TO BE CONDENSED.
- WHERE UNCONDENSED CRAWLSPACE FLOORS ARE INSULATED TO R-30.
- CRAWLSPACE WALL INSULATIONS NOT REQUIRED.
- INSTALL AIR BARRIERS PER EECT TABLE R402.4.1.1.
- ROOFING TO BE MIN. 5% EFFICIENT ASPH.



3 LONGITUDINAL SECTION
A4.2 SCALE: 1/4" = 1'-0"



2 SECTION AT GARAGE
A4.2 SCALE: 1/4" = 1'-0"



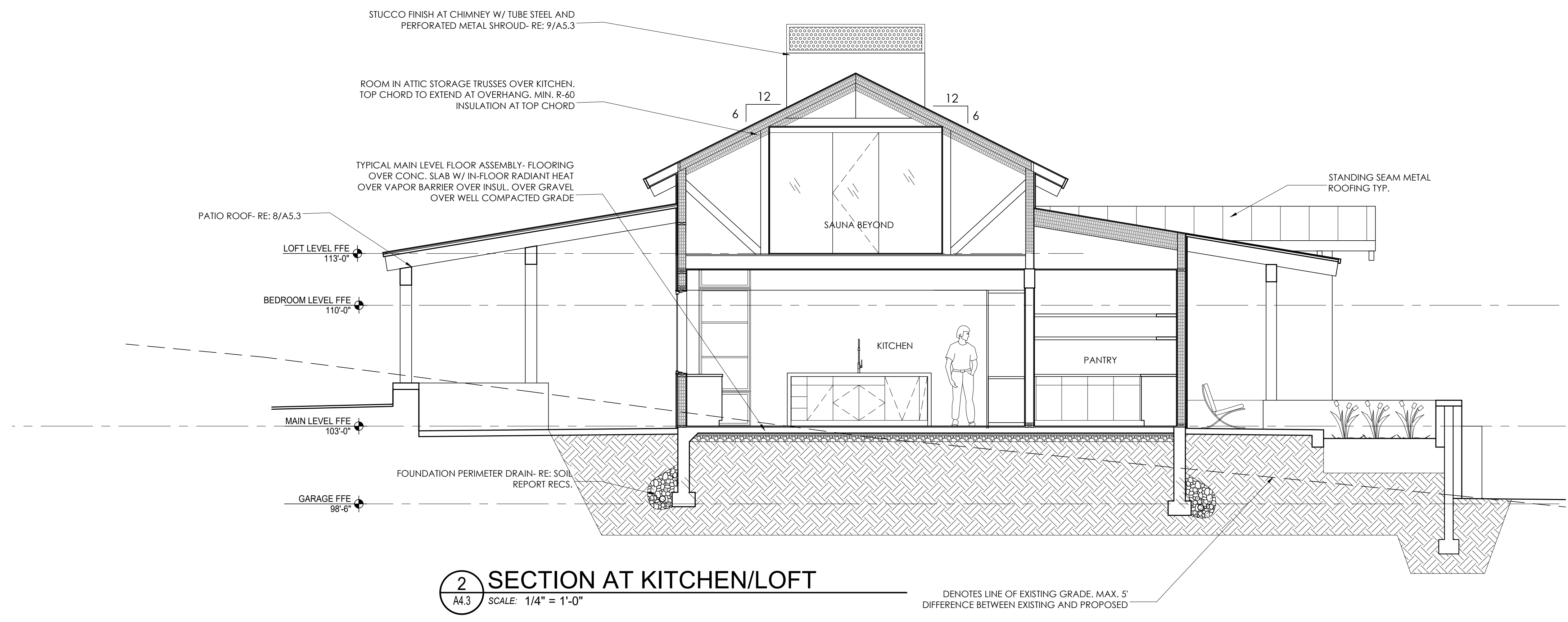
1 SECTION AT LIVING
A4.2 SCALE: 1/4" = 1'-0"

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DRB PREDESIGN	7-5-24
PROGRESS	7-15-24
DRB PRELIMINARY	9-2-24
DRB FINAL	12-6-24

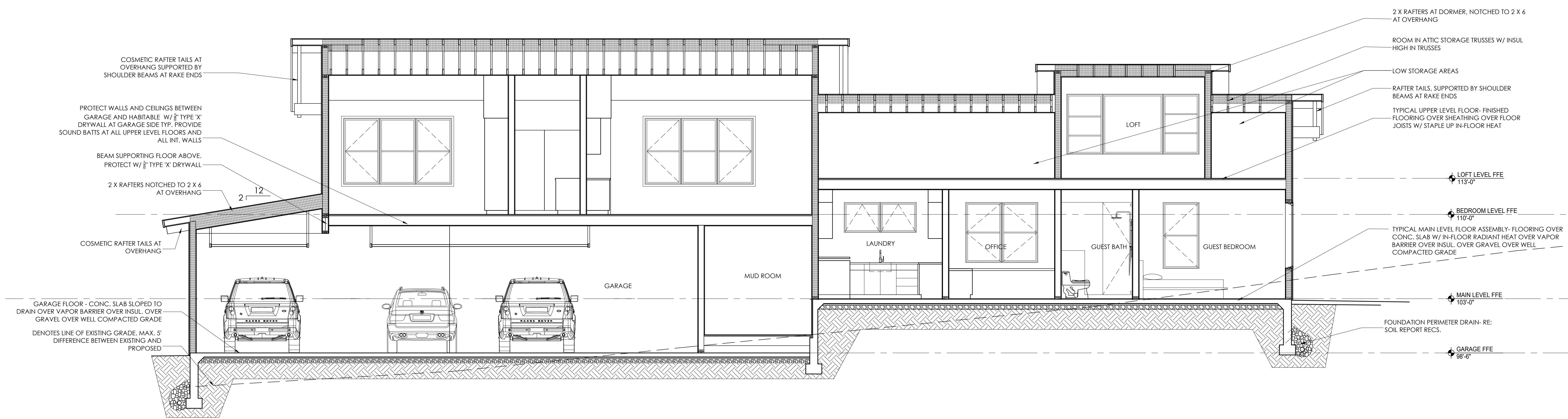
SHEET SCALE: 1/4" = 1'-0"
DRAWN BY: PK
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ISSUED FOR:	DATE:
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PROGRESS	7-15-24
DRB PRELIMINARY	9-2-24
DRB FINAL	12-6-24

SHEET SCALE: 1/4" = 1'-0"
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2 SECTION AT KITCHEN/LOFT
 SCALE: 1/4" = 1'-0"



1 SECTION AT GARAGE/BEDS/GUEST
 SCALE: 1/4" = 1'-0"

- BUILDING NOTES**
- MAIN LEVEL TO BE FINISHED FLOORING OVER CONC. SLAB WITH IN FLOOR RADIANT HEAT. OVER VAPOR BARRIER OVER RIGID INSULATION OVER 4\"/>

ISSUED FOR:	DATE:
DRB PREDESIGN	7-5-24
PROGRESS	7-15-24
DRB PRELIMINARY	9-2-24
DRB FINAL	12-6-24

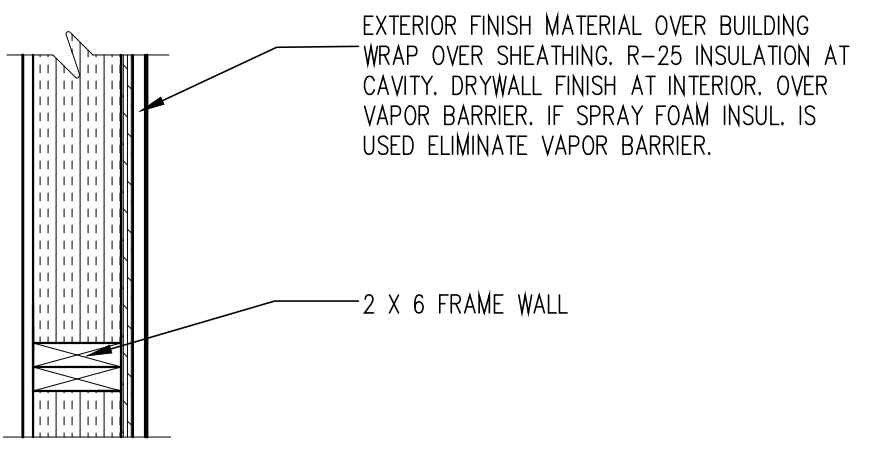
SHEET SCALE: 1/4" = 1'-0"
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ISSUED FOR:	DATE:
DRB PREDESIGN	7-5-24
PROGRESS	7-15-24
DRB PRELIMINARY	9-2-24
DRB FINAL	12-6-24

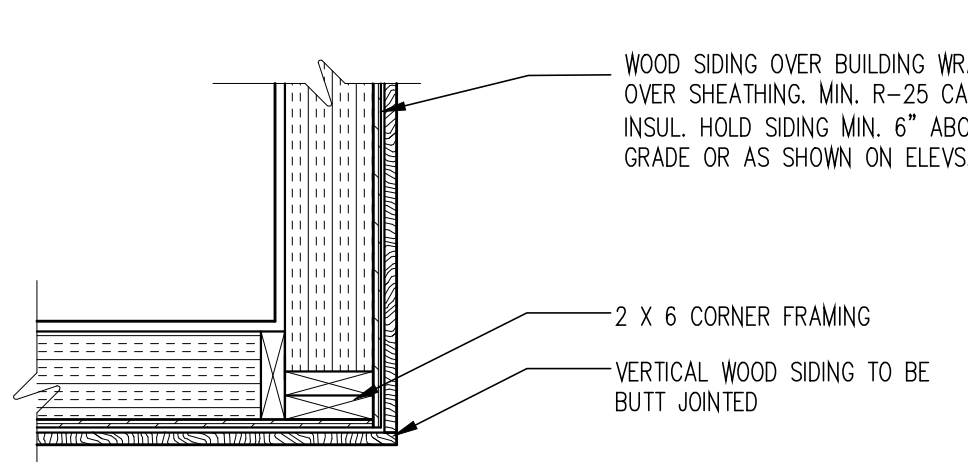
SHEET SCALE: 1" = 1'-0"
DRAWN BY: PK
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FOUNDATION
DETAILS

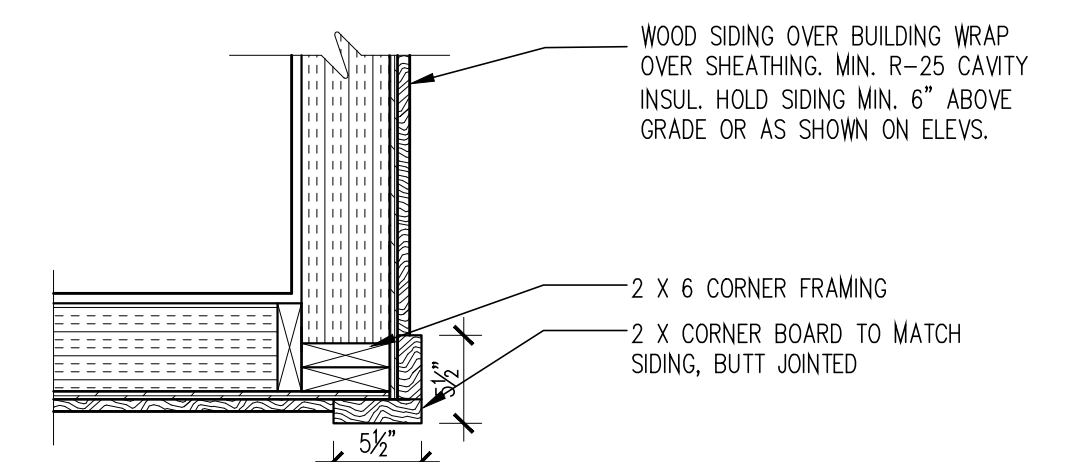
A5.1



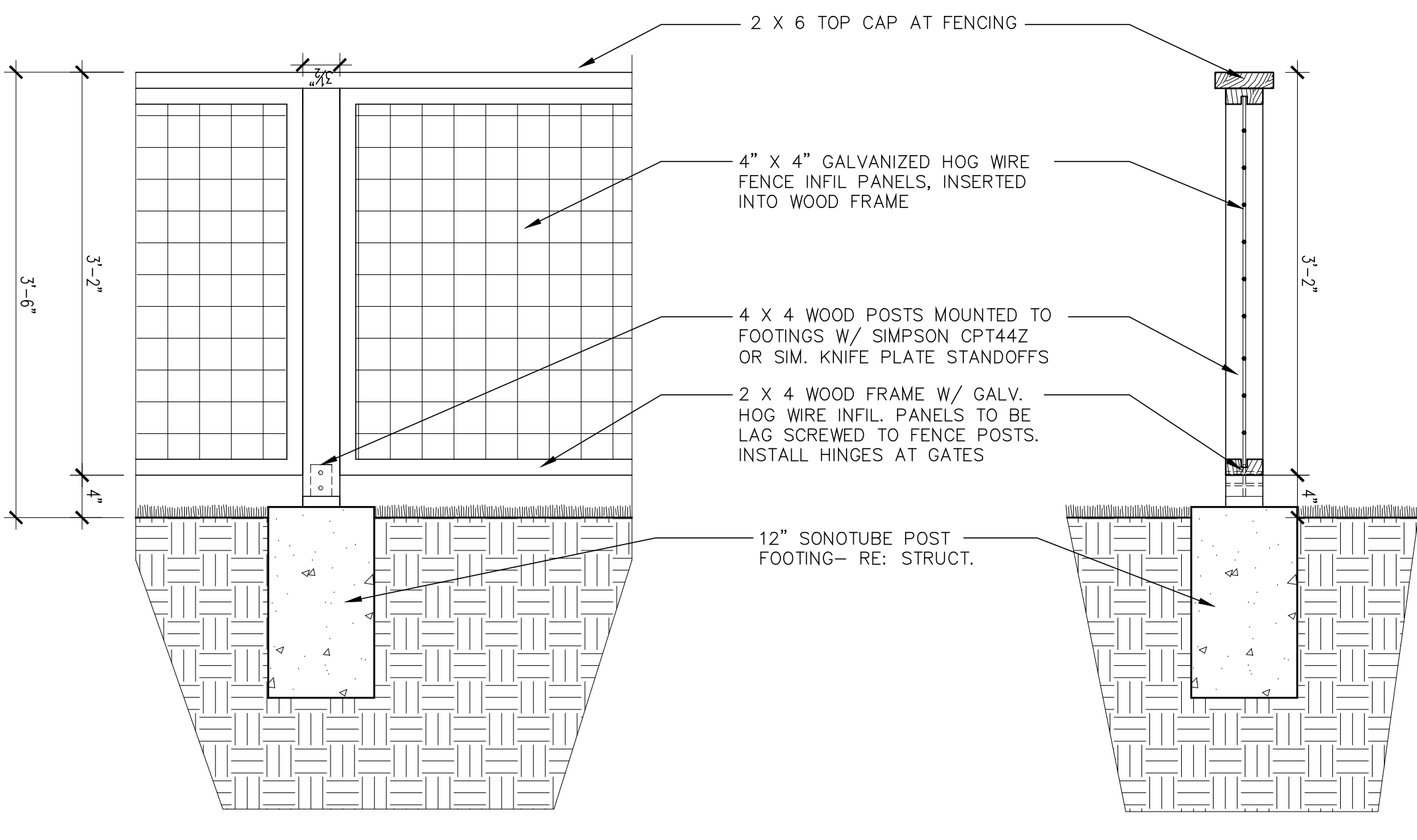
14 TYPICAL EXTERIOR WALL DETAIL
SCALE: 1" = 1'-0"



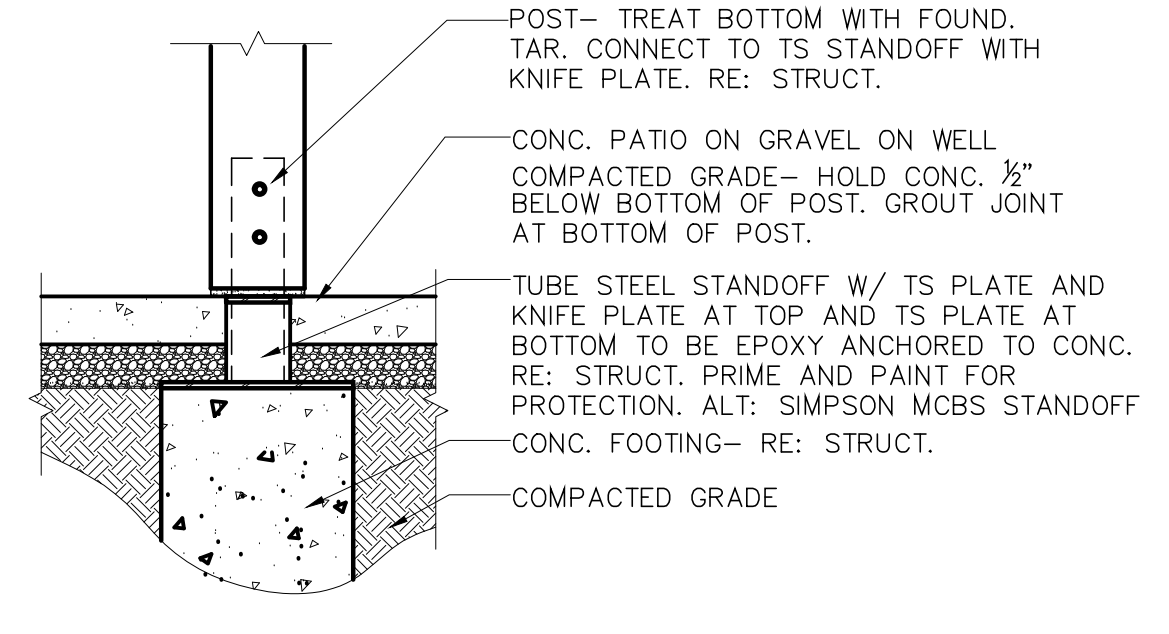
13 CORNER DETAIL AT VERT. WOOD SIDING
SCALE: 1" = 1'-0"



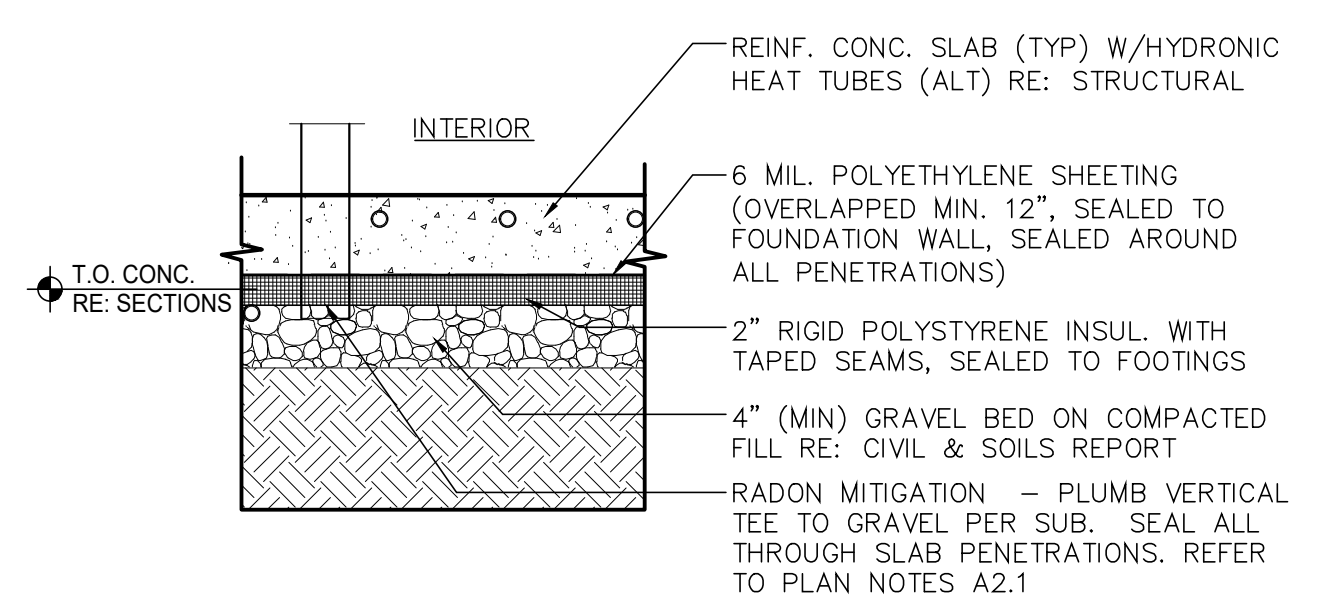
12 CORNER DETAIL AT HORIZ. WOOD SIDING
SCALE: 1" = 1'-0"



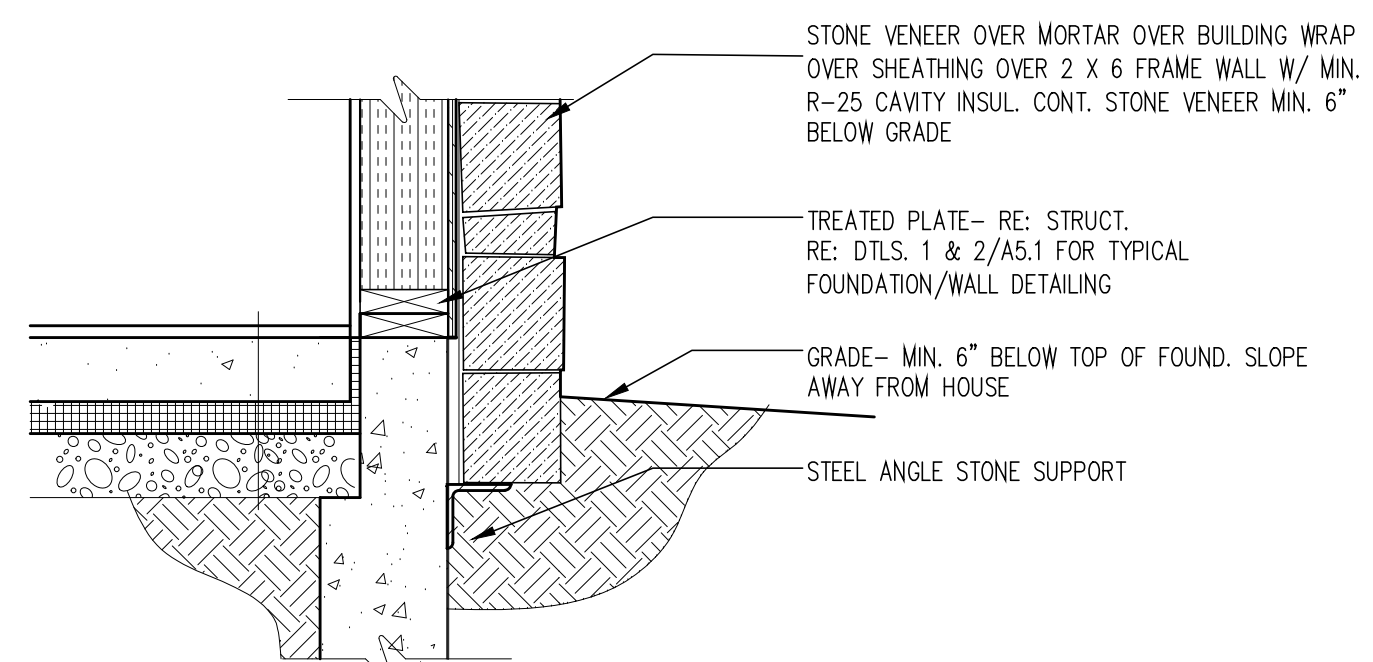
11 DETAIL AT DOG RUN FENCE
SCALE: 1" = 1'-0"



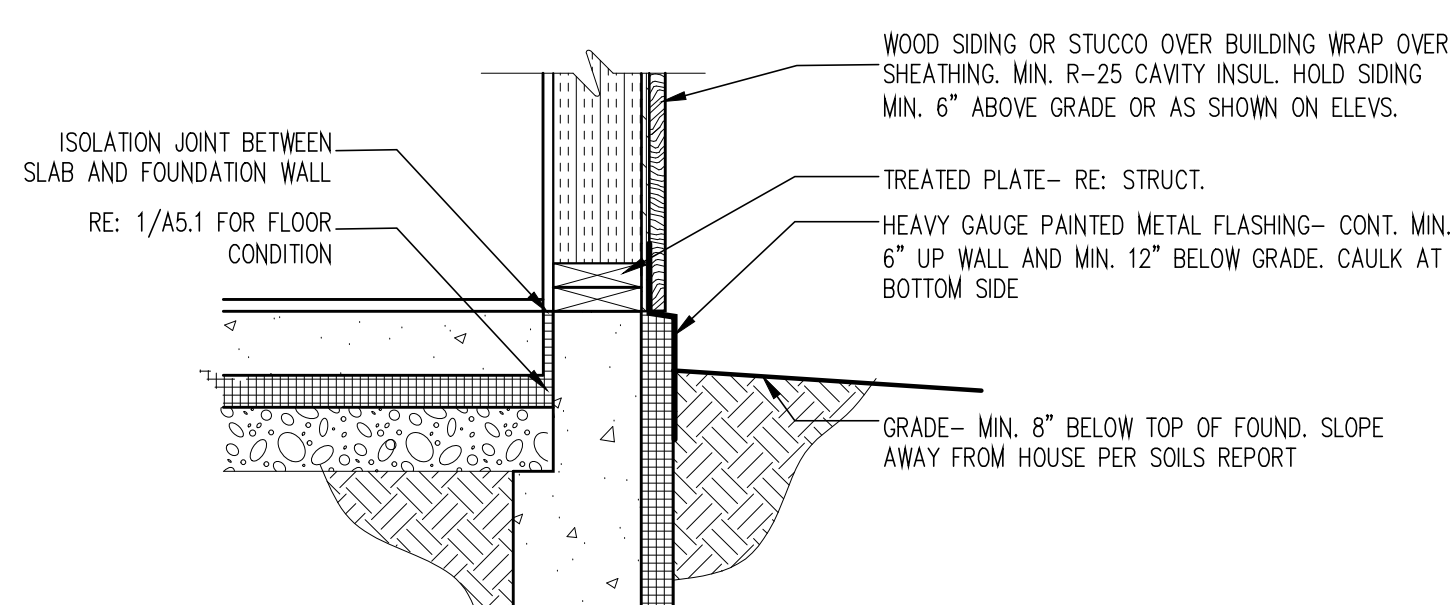
10 DETAIL AT POST AT PATIO
SCALE: 1" = 1'-0"



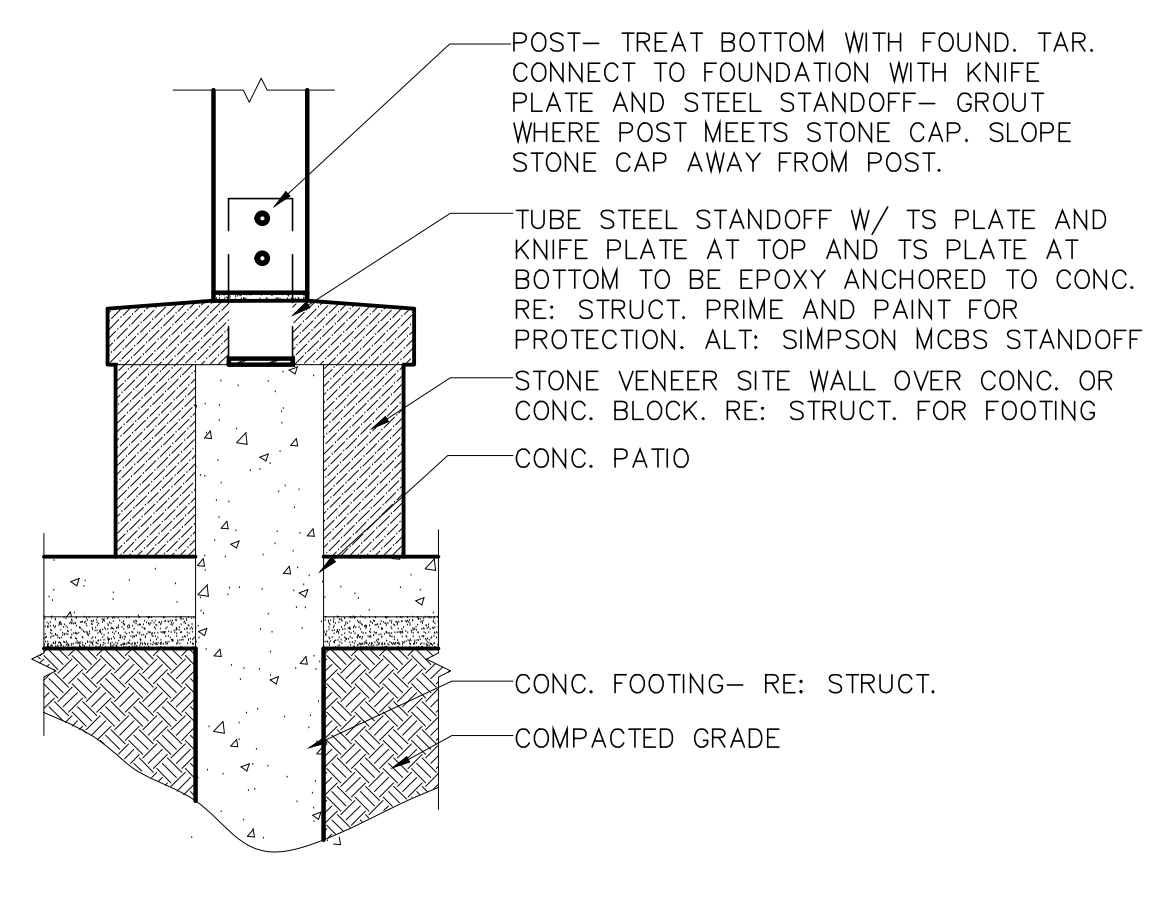
9 DETAIL AT SLAB ON GRADE
SCALE: 1" = 1'-0"



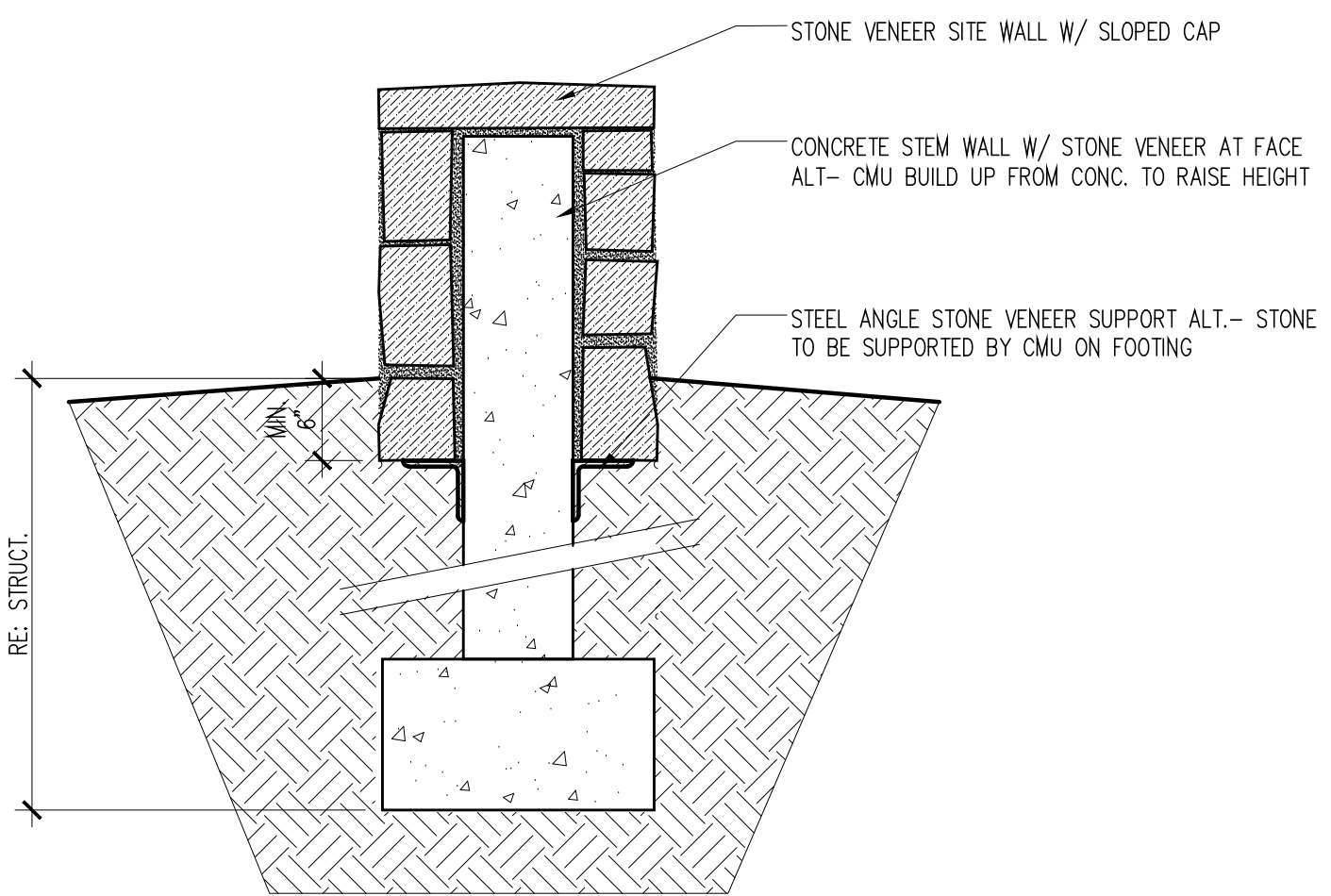
8 DETAIL AT STONE VENEER AT GRADE
SCALE: 1" = 1'-0"



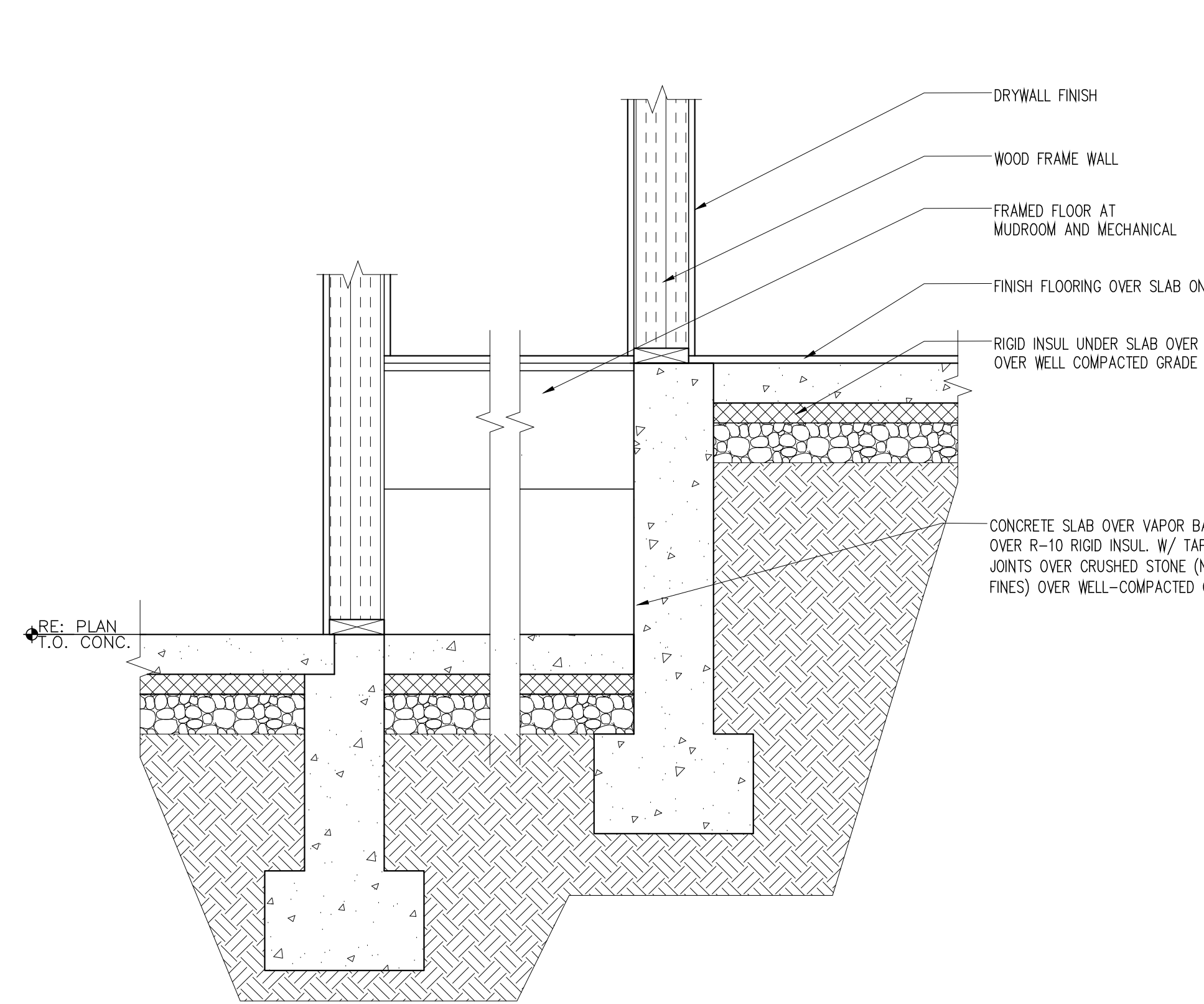
7 FLASHING DETAIL AT WOOD SIDING & STUCCO
SCALE: 1" = 1'-0"



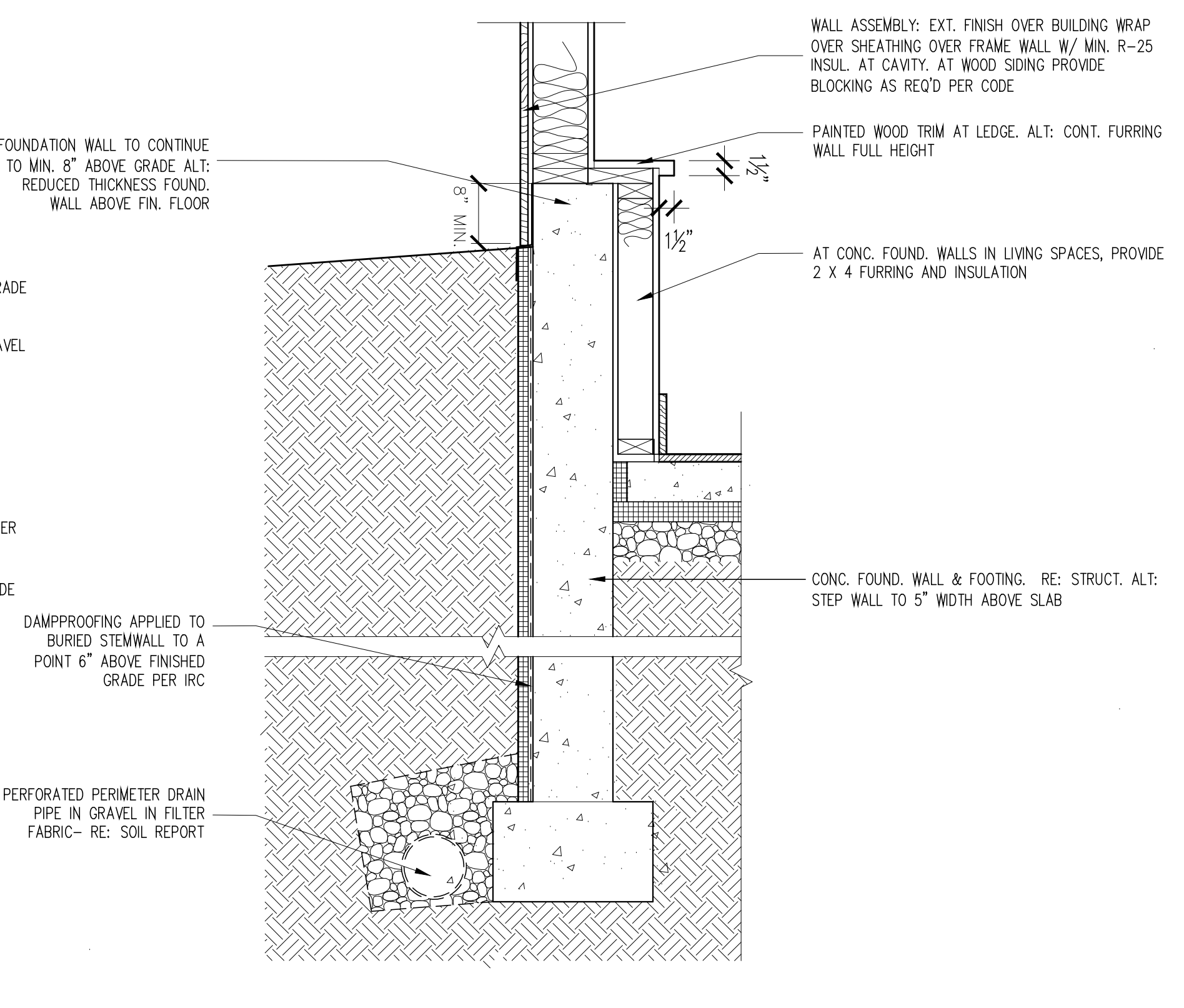
6 DETAIL AT POST AT STONE WALL
SCALE: 1" = 1'-0"



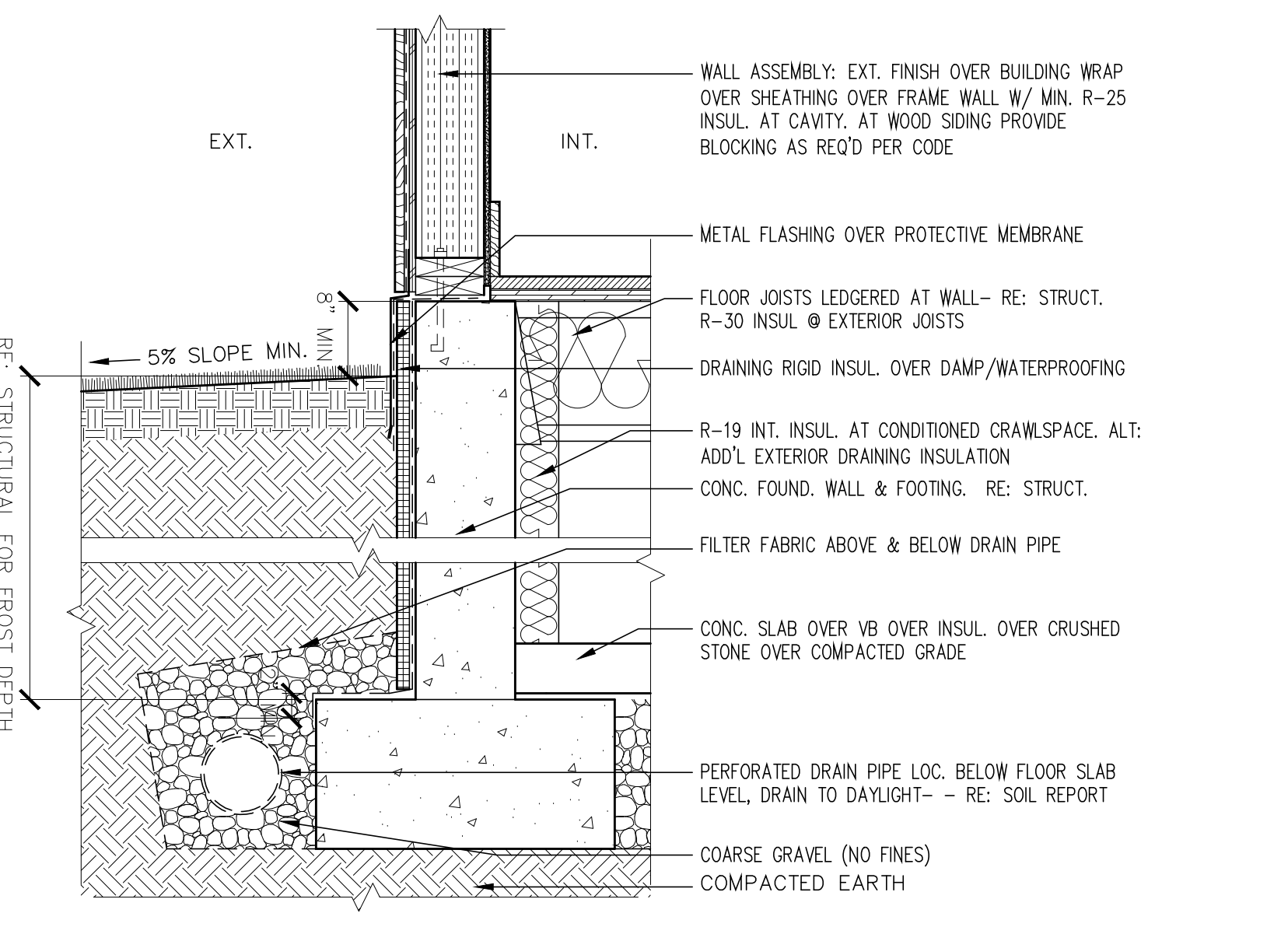
5 DETAIL AT STONE VENEER SITE WALL
SCALE: 1" = 1'-0"



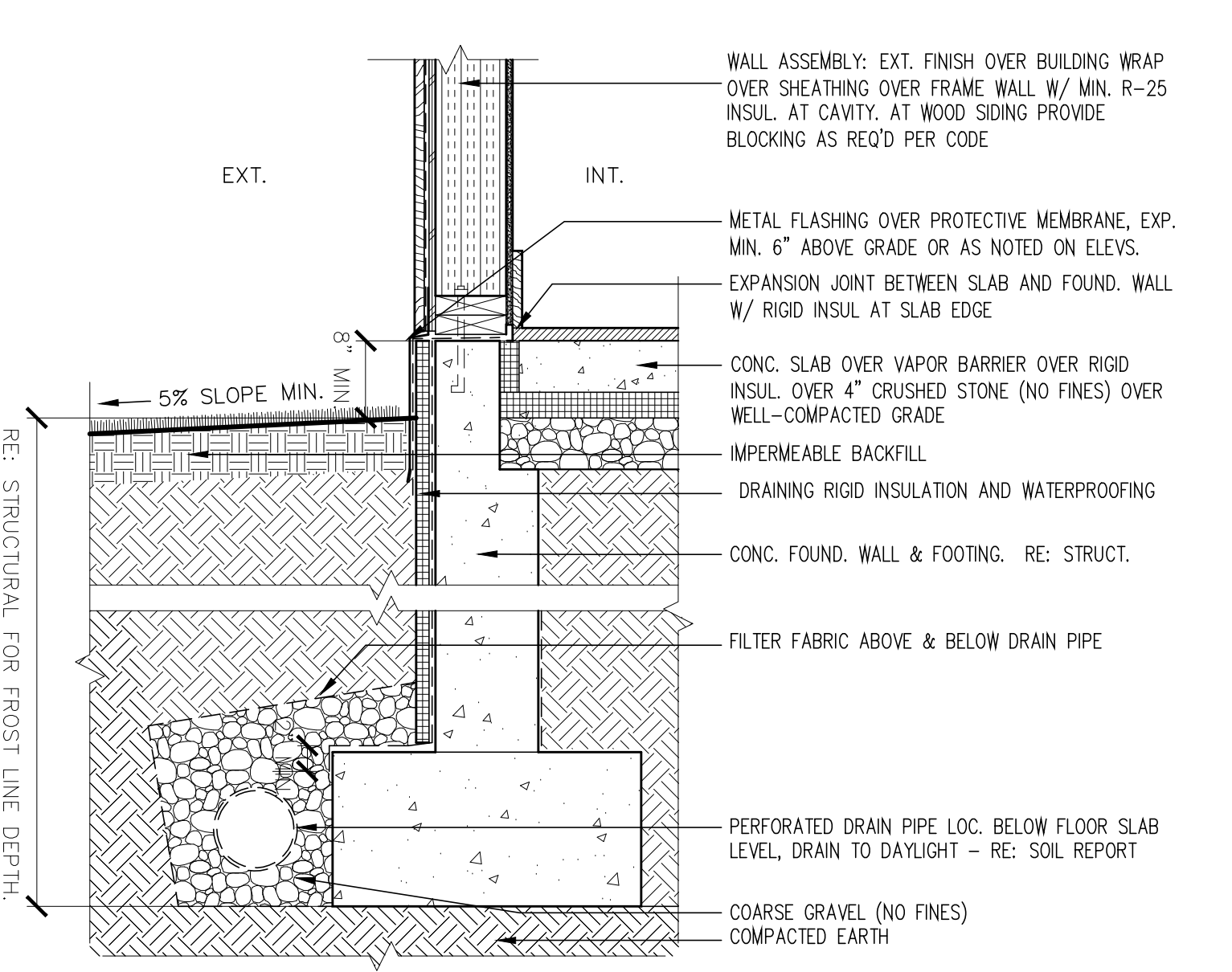
4 HIGH FOUND. WALL AT GARAGE/MUD/HALL
SCALE: 1" = 1'-0"



3 HIGH FOUND. WALL AT HABITABLE
SCALE: 1" = 1'-0"



2 TYP. FOUND. DETAIL AT FRAME FLOOR
SCALE: 1" = 1'-0"



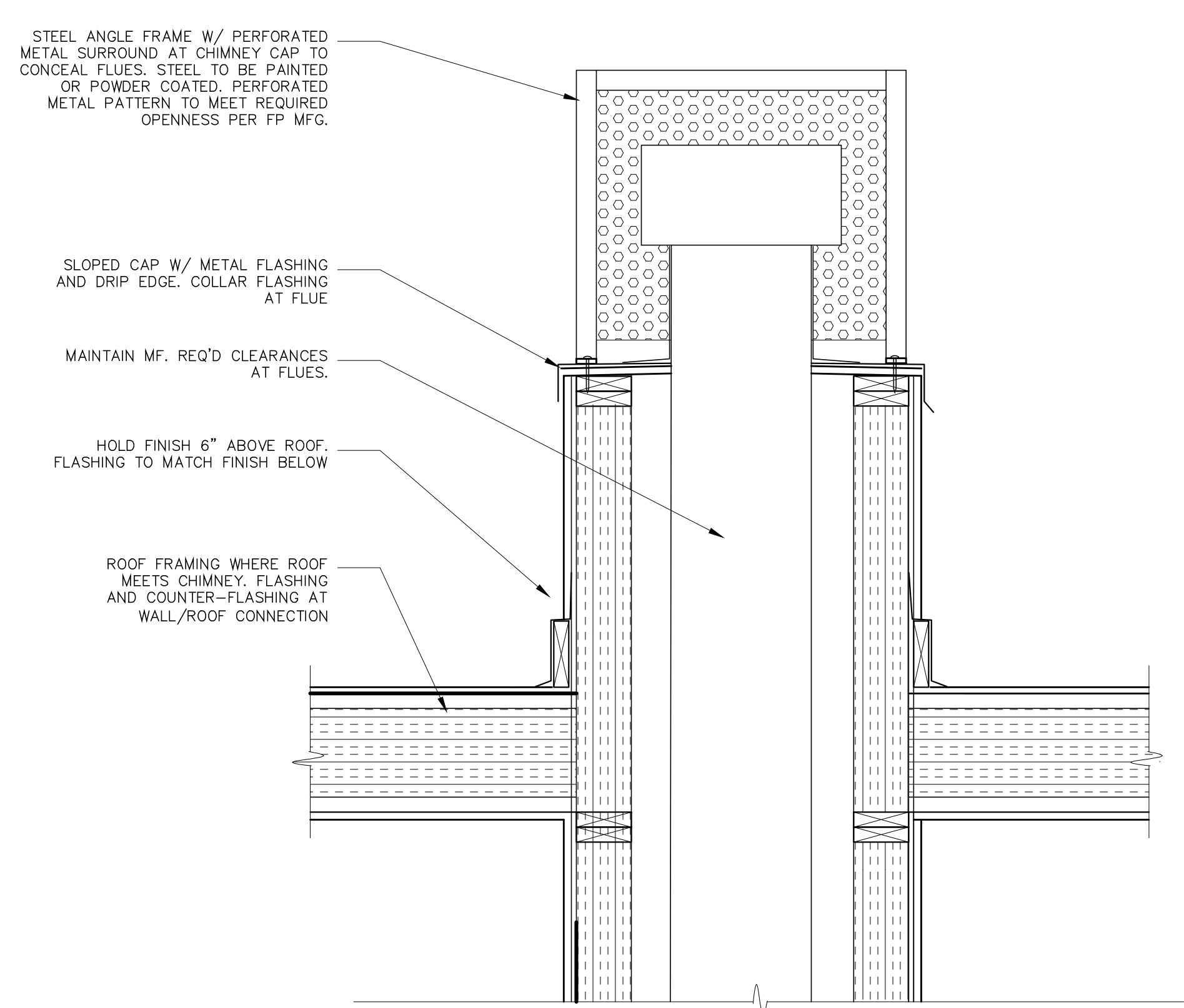
1 TYP. FOUND. DETAIL AT SLAB ON GRADE
SCALE: 1" = 1'-0"

ISSUED FOR:	DATE:
DRB PREDESIGN	7-5-24
PROGRESS	7-15-24
DRB PRELIMINARY	9-2-24
DRB FINAL	12-6-24

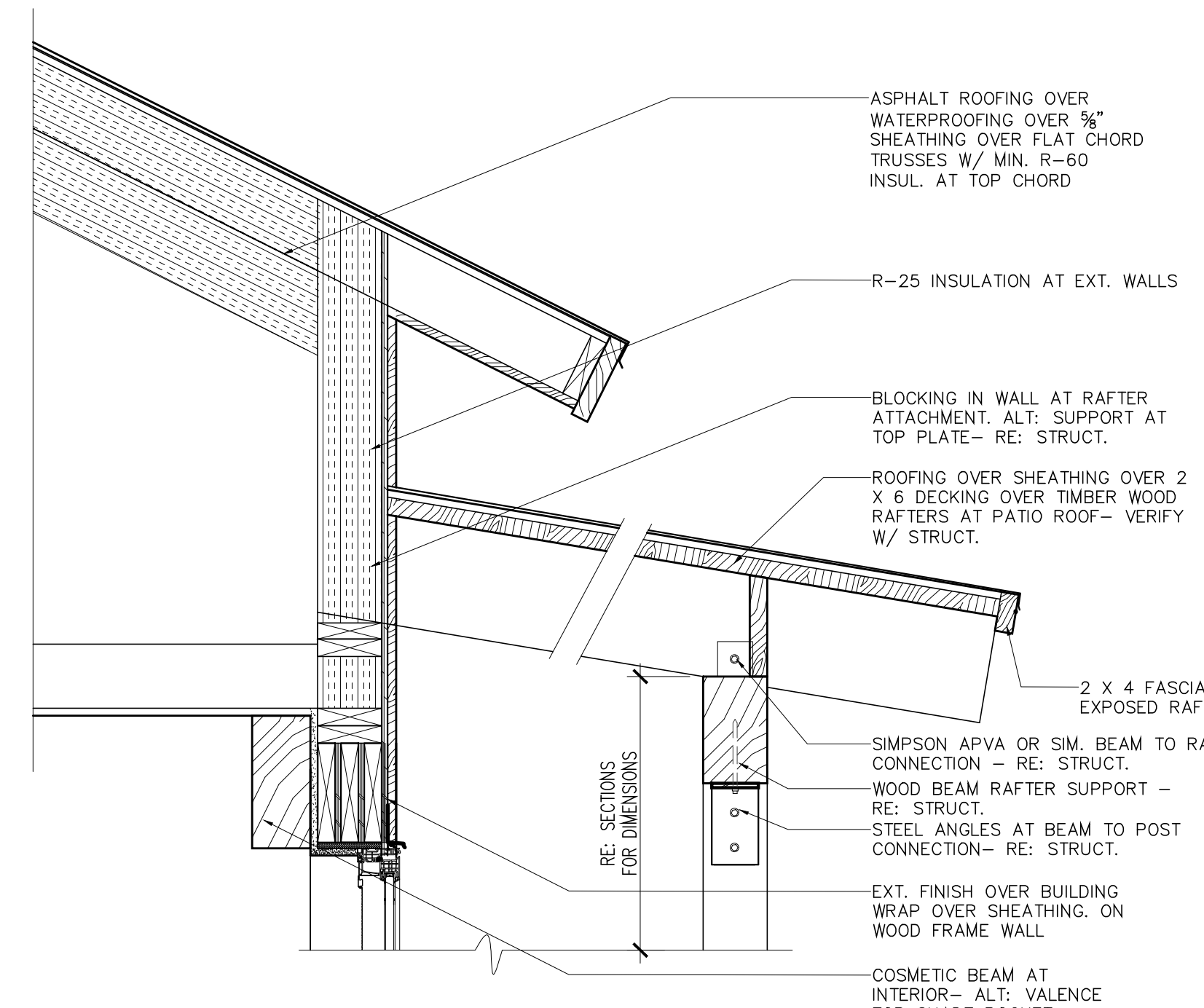
SHEET SCALE: 1" = 1'-0"
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ROOF DETAILS

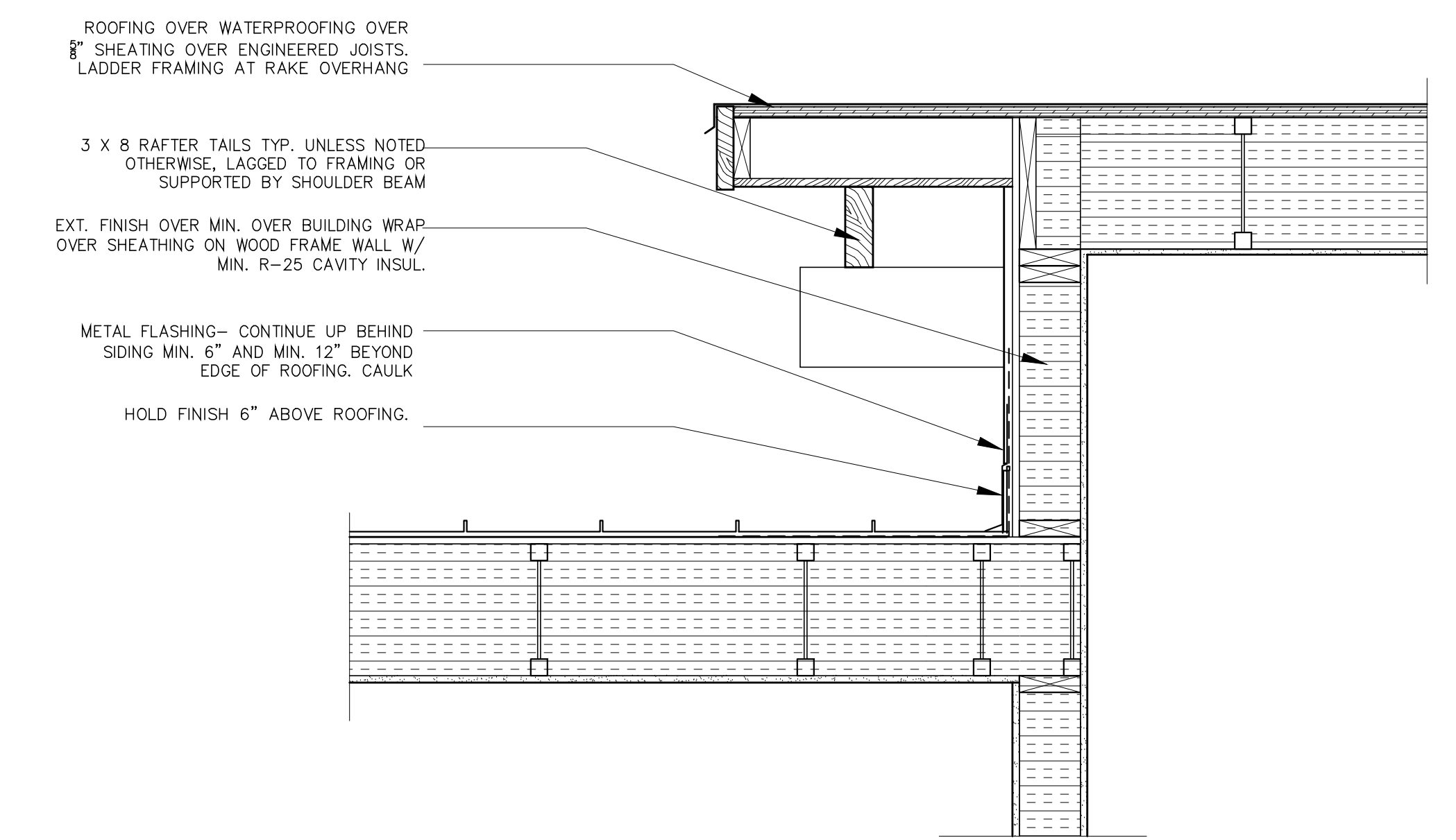
A5.3



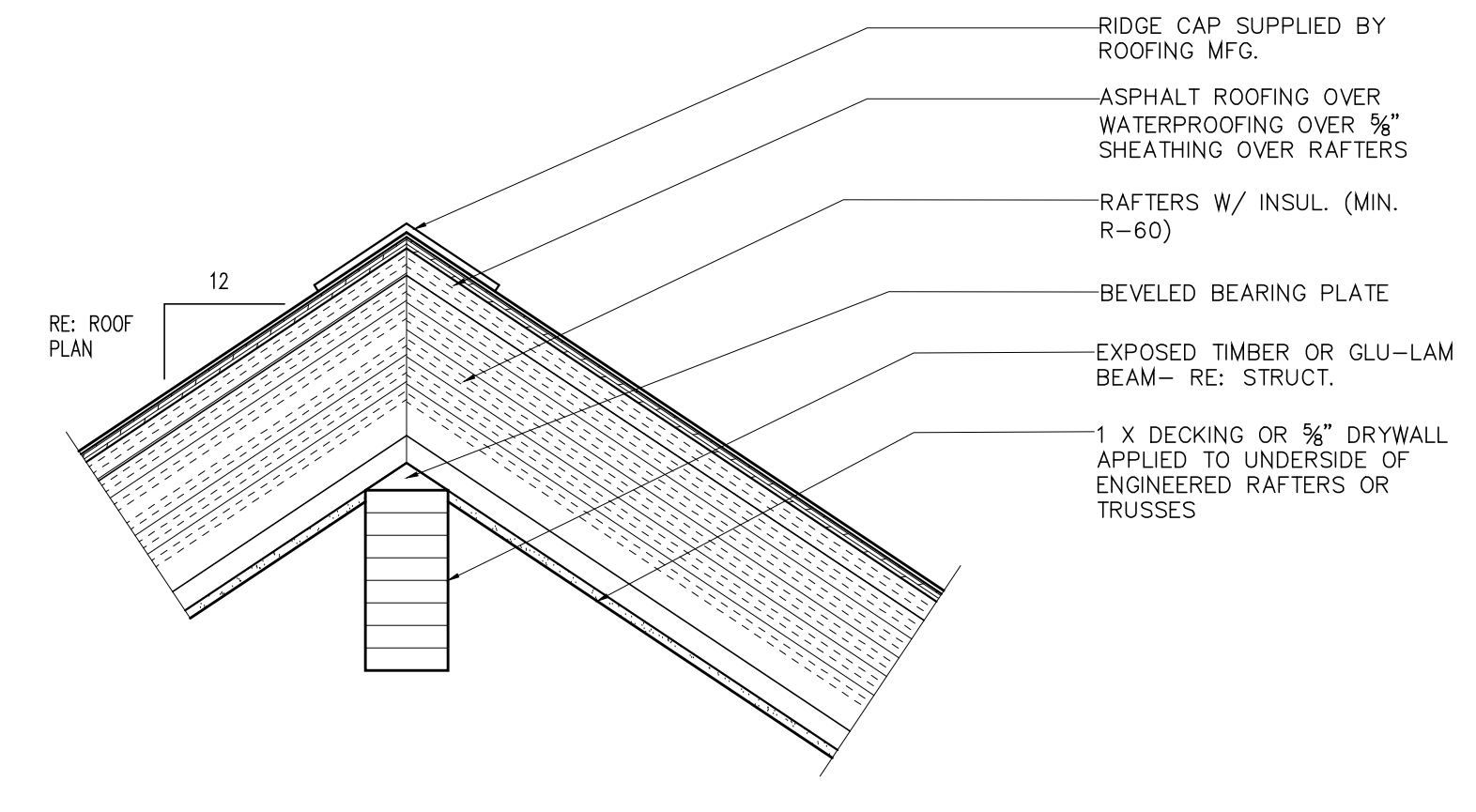
9 DETAIL AT CHIMNEY/SHROUD
SCALE: 1" = 1'-0"



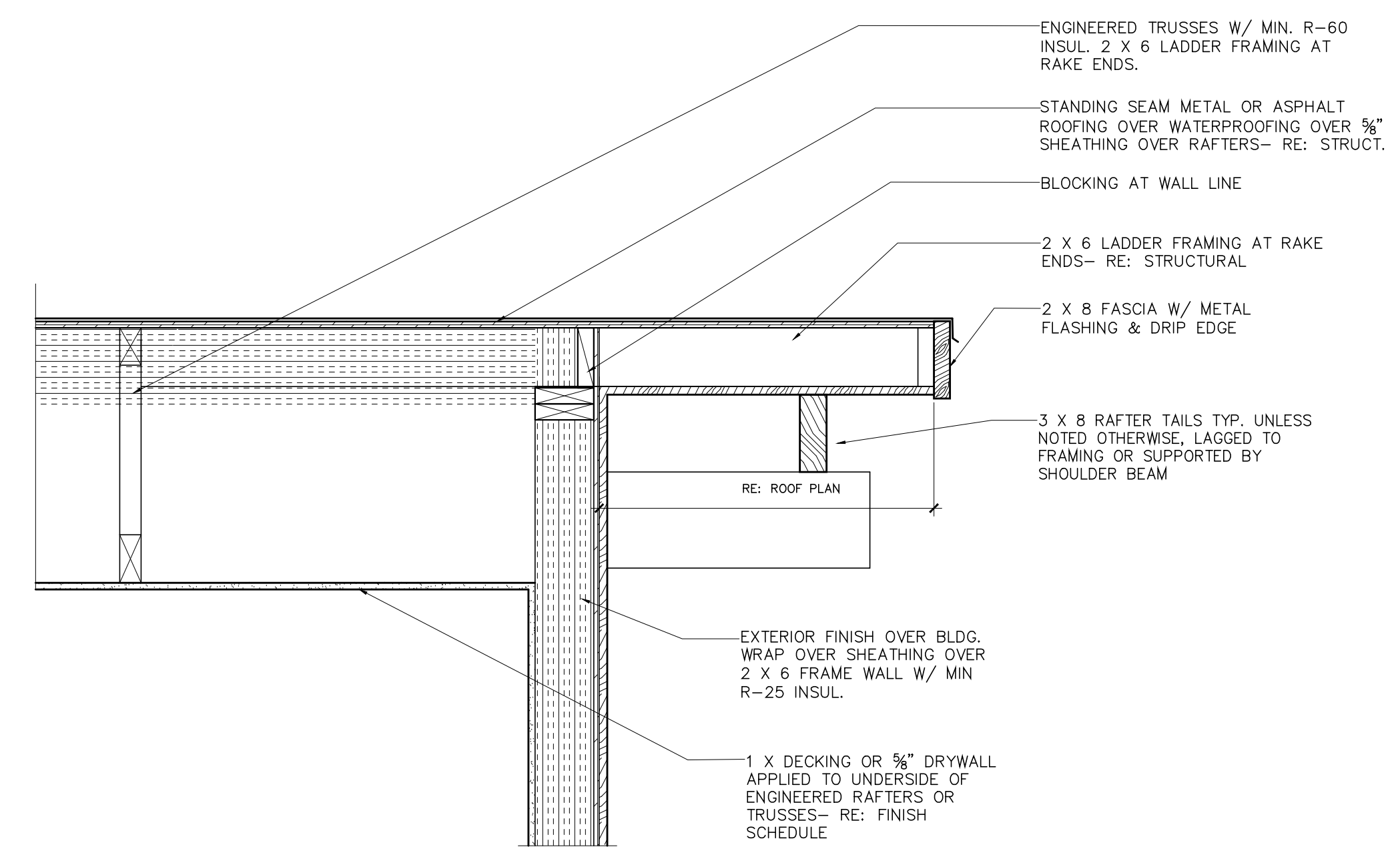
8 ENTRY/PATIO ROOF DETAIL
SCALE: 1" = 1'-0"



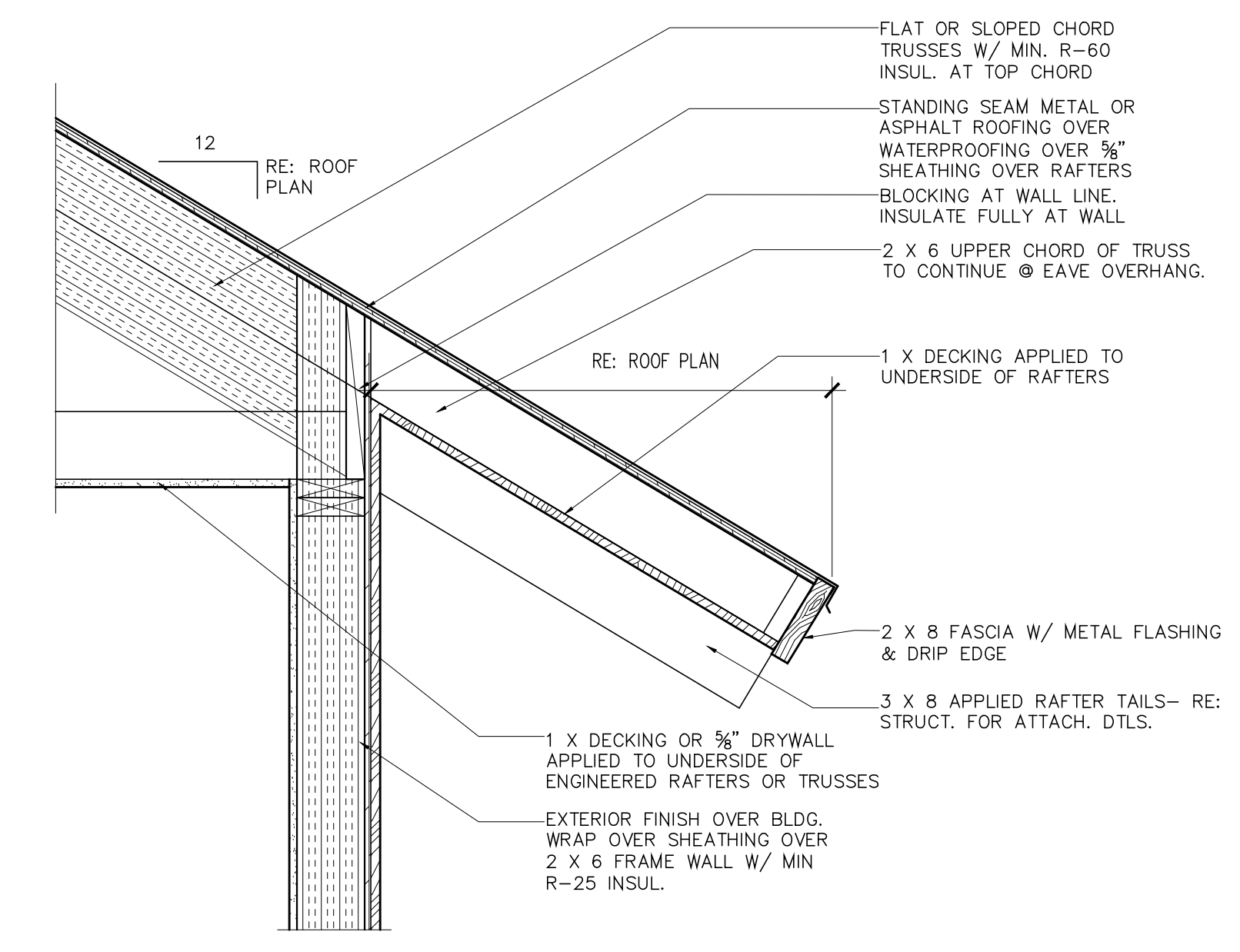
7 DETAIL AT ROOF OVER RAKE WALL
SCALE: 1" = 1'-0"



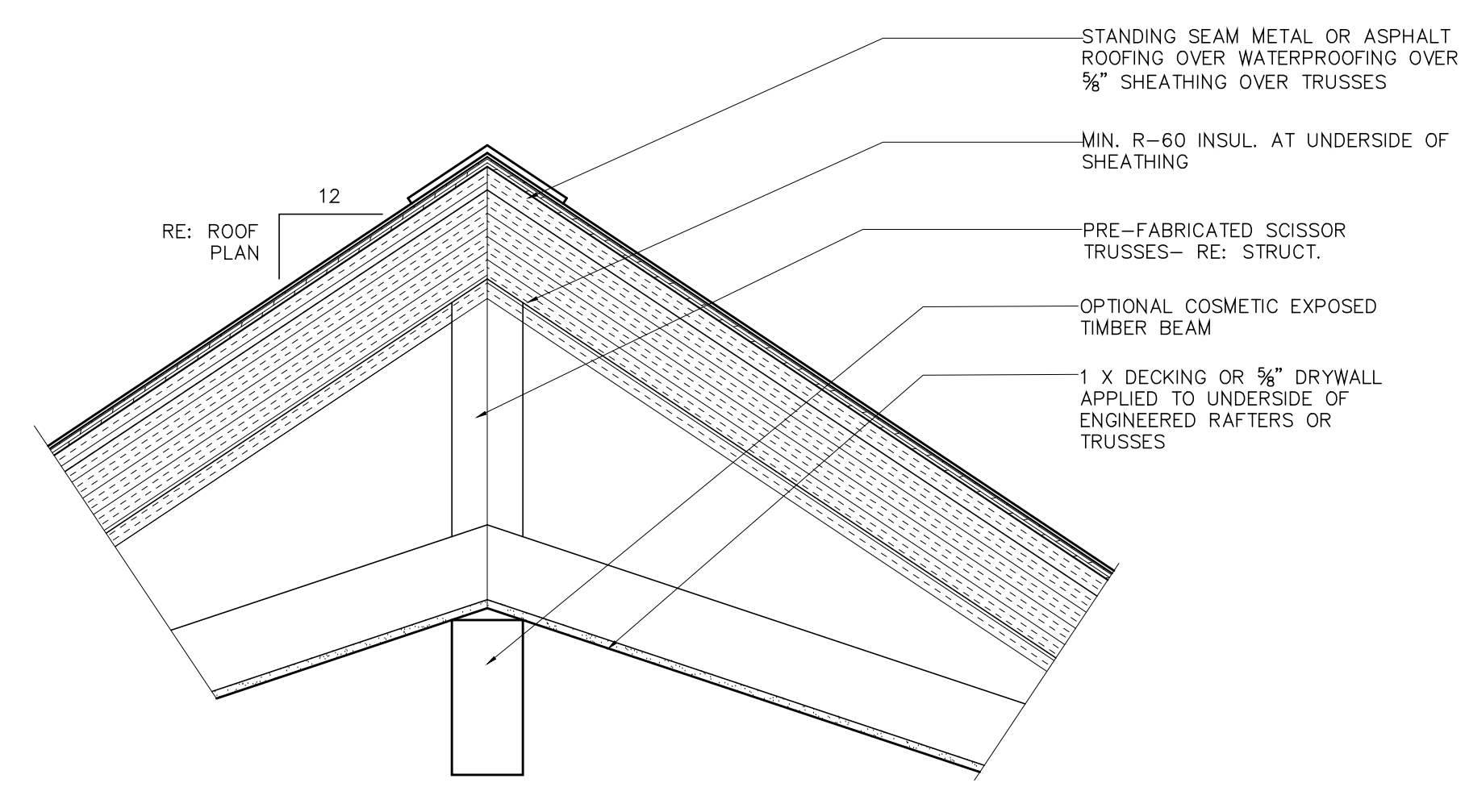
6 TYP. RIDGE DETAIL @ STANDARD FRAMING
SCALE: 1" = 1'-0"



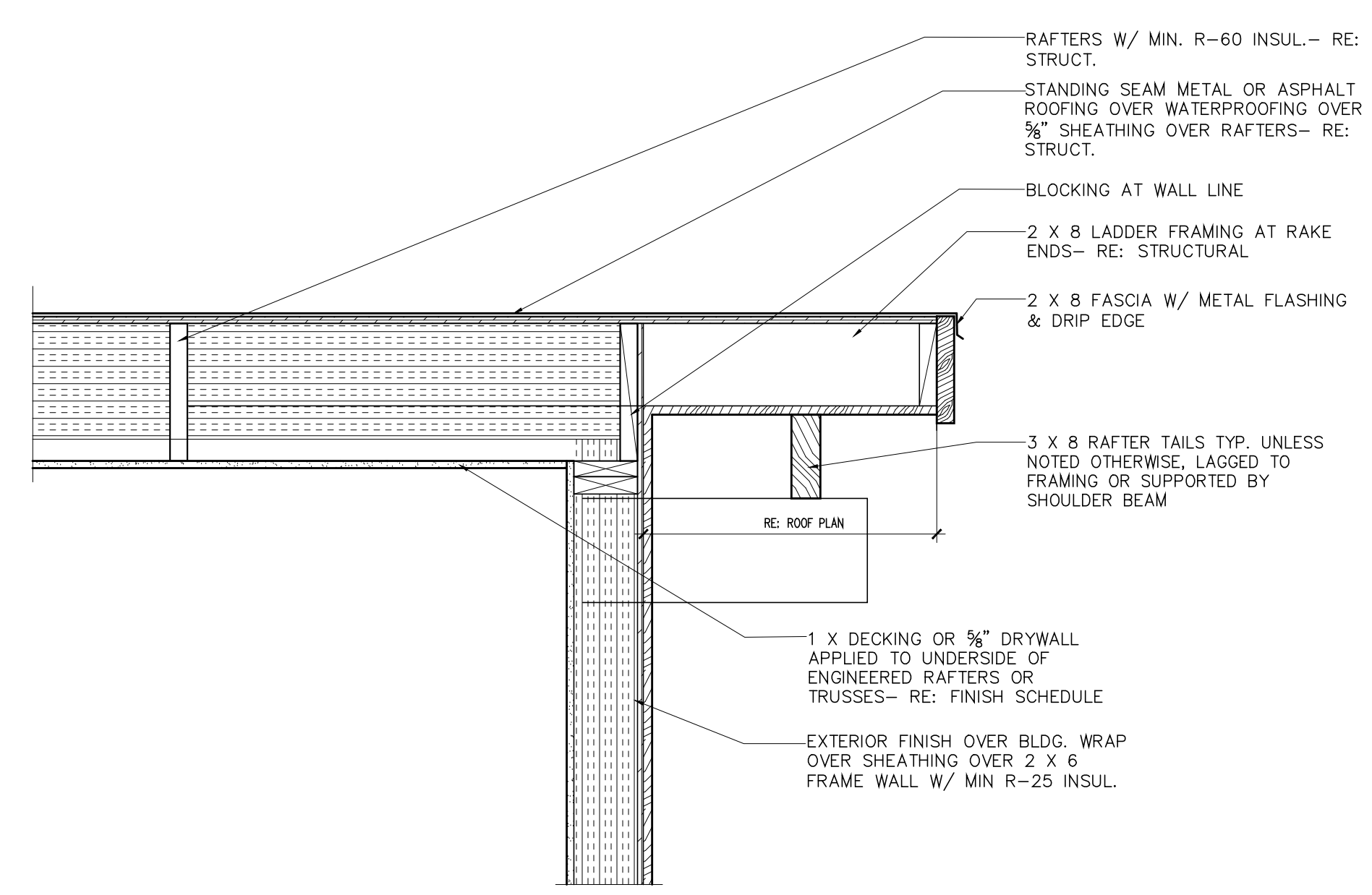
5 TYP. RAKE DETAIL @ TRUSS
SCALE: 1" = 1'-0"



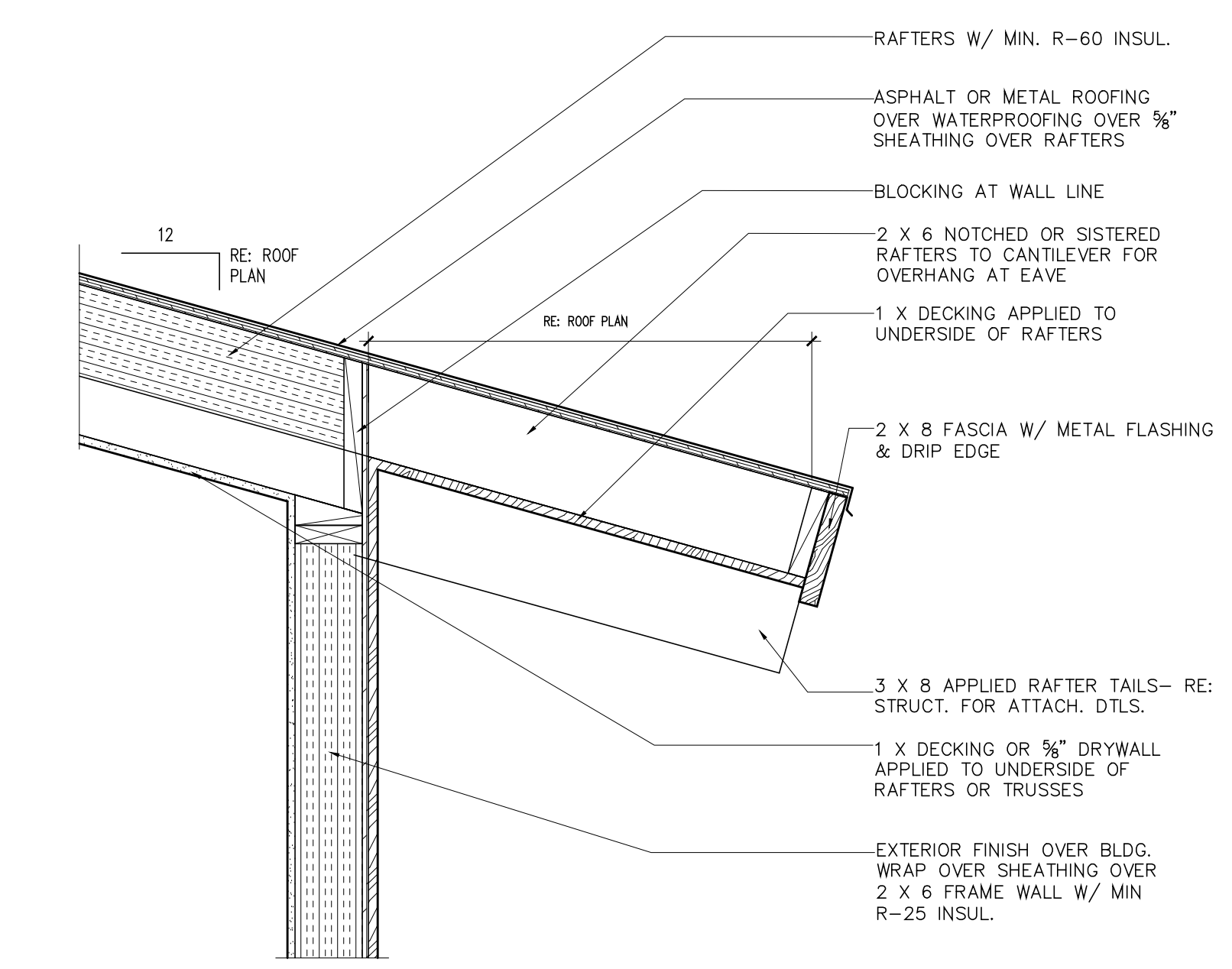
4 TYP. EAVE DETAIL @ TRUSS
SCALE: 1" = 1'-0"



3 TYP. RIDGE DETAIL @ SCISSOR TRUSS
SCALE: 1" = 1'-0"



2 TYP. RAKE DETAIL @ RAFTERS
SCALE: 1" = 1'-0"

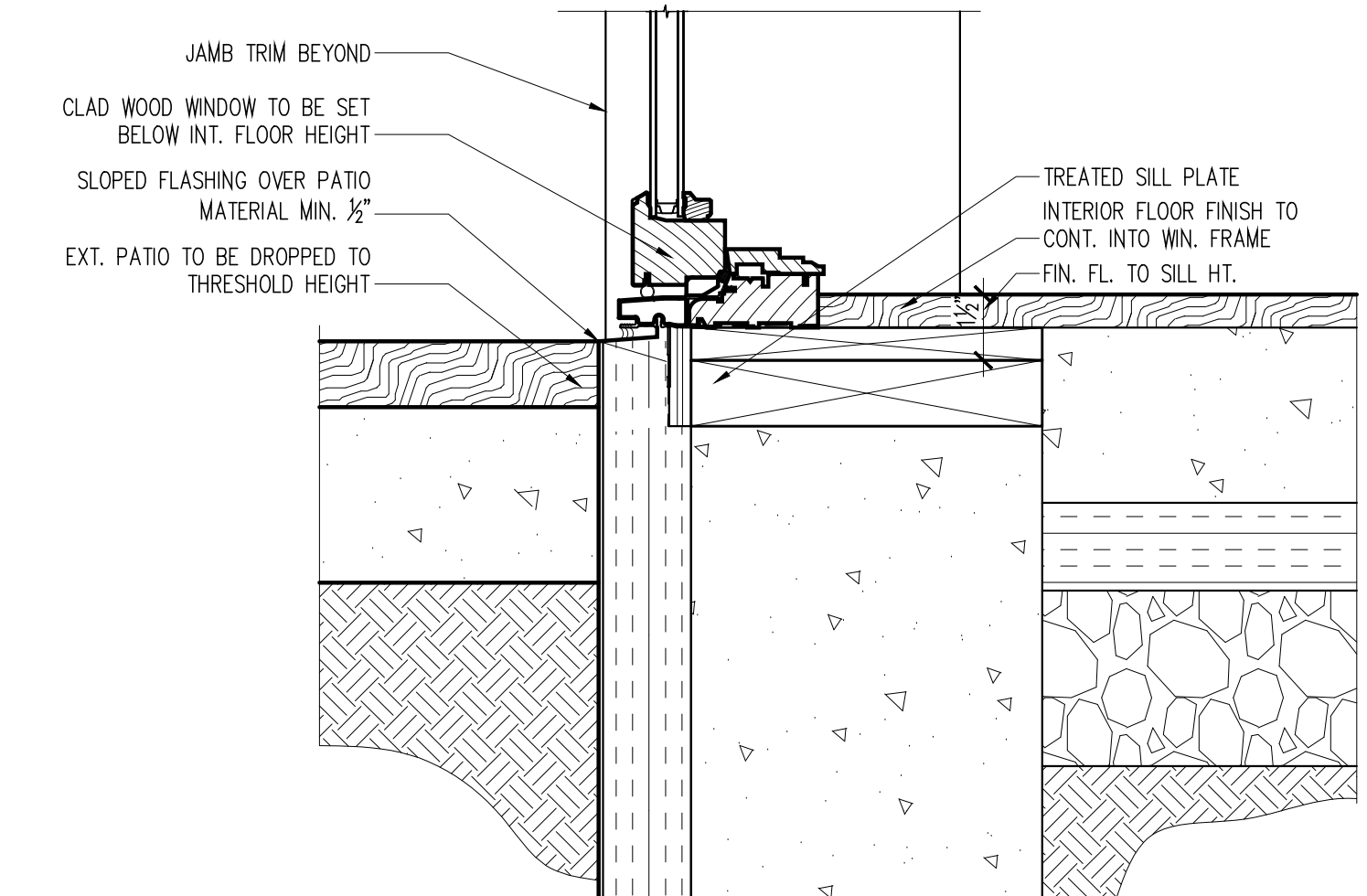


1 TYP. EAVE DETAIL @ RAFTERS
SCALE: 1" = 1'-0"

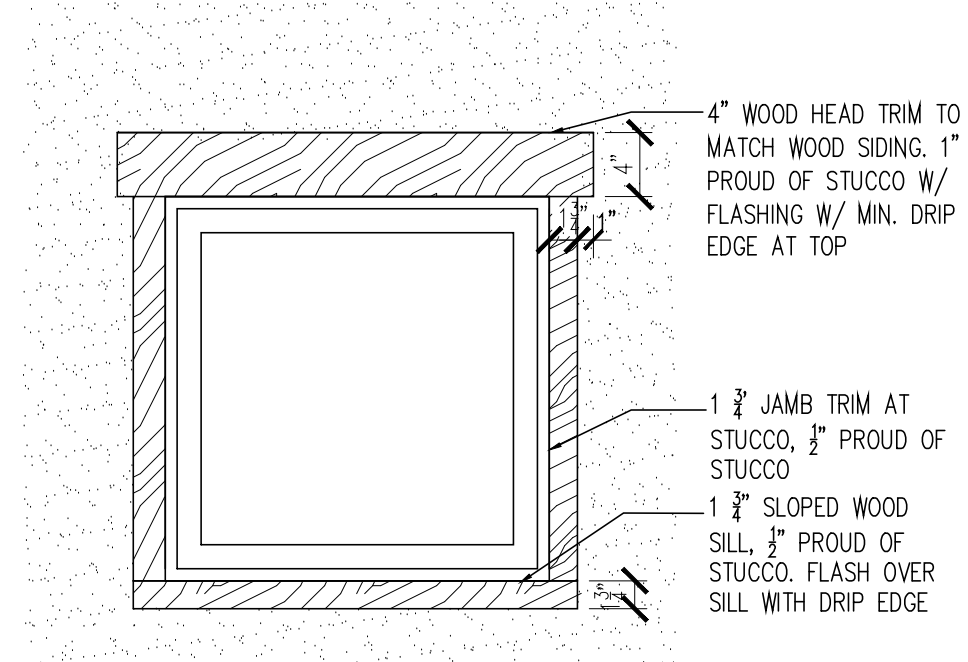
ISSUED FOR:	DATE:
DRB PREDESIGN	7-5-24
PROGRESS	7-15-24
DRB PRELIMINARY	9-2-24
DRB FINAL	12-6-24

SHEET SCALE: 3" = 1'-0"
DRAWN BY: PK
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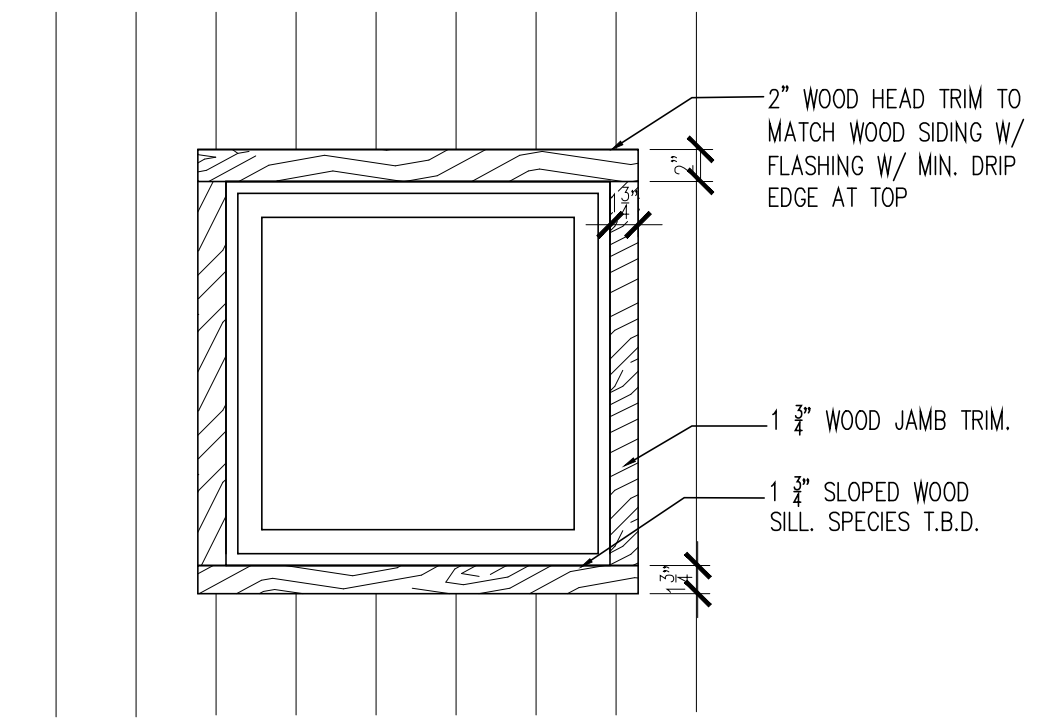
WINDOW DETAILS
A5.5



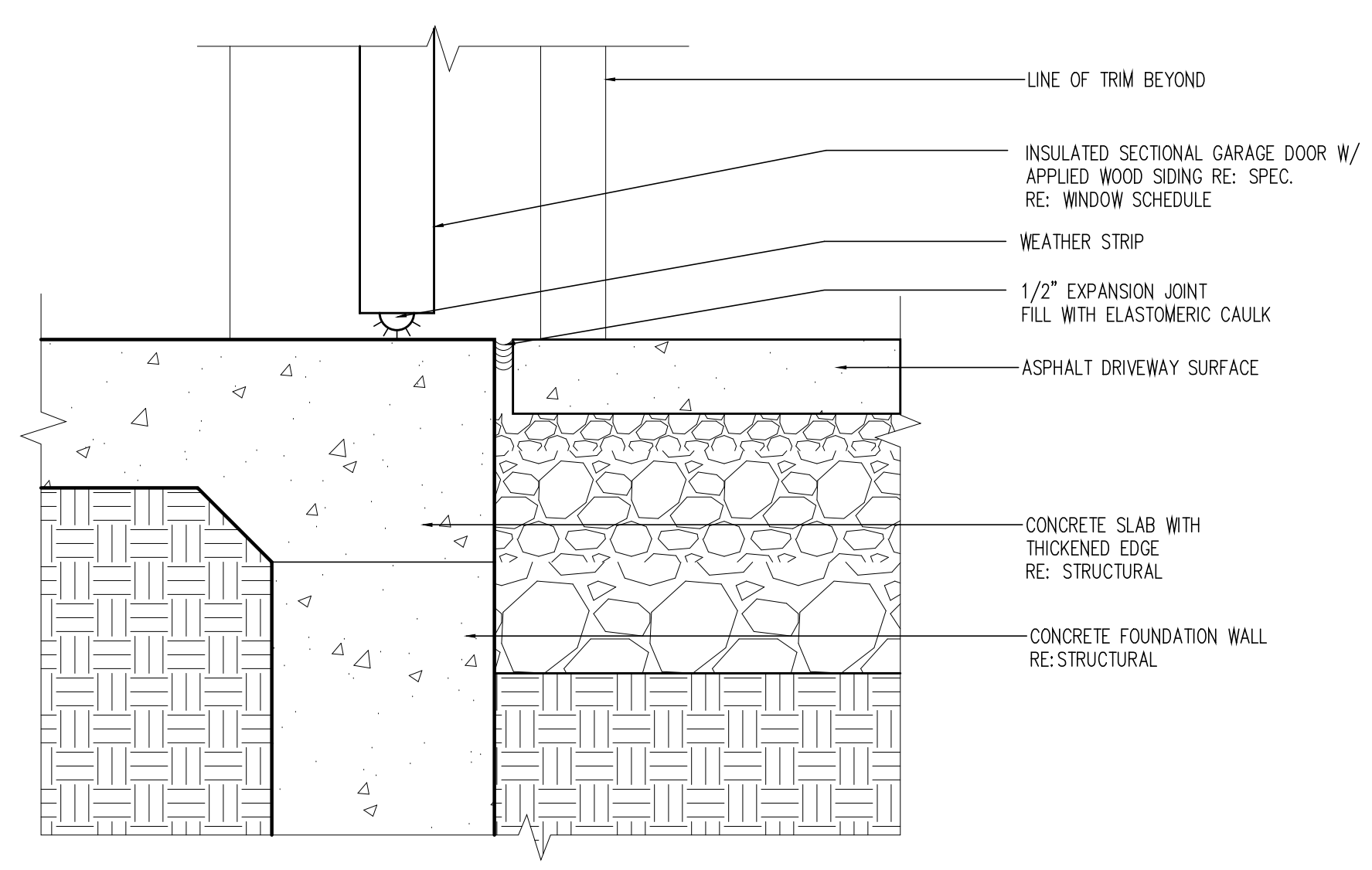
10 TYPICAL WINDOW AT FLOOR LEVEL
A5.5 SCALE: 3" = 1'-0"



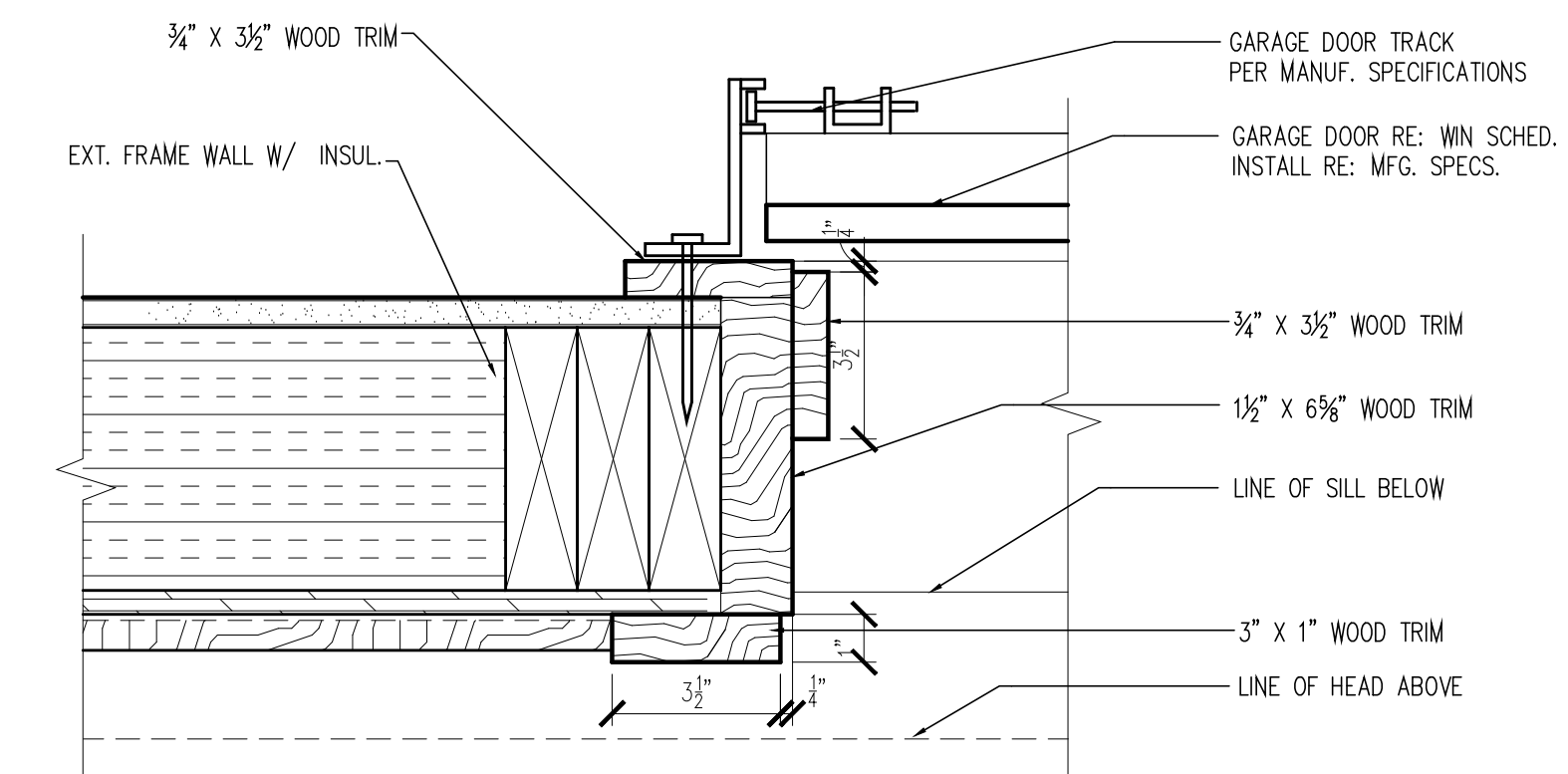
9 WINDOW TRIM ELEVATION @ STUCCO
A5.5 SCALE: 1" = 1'-0"



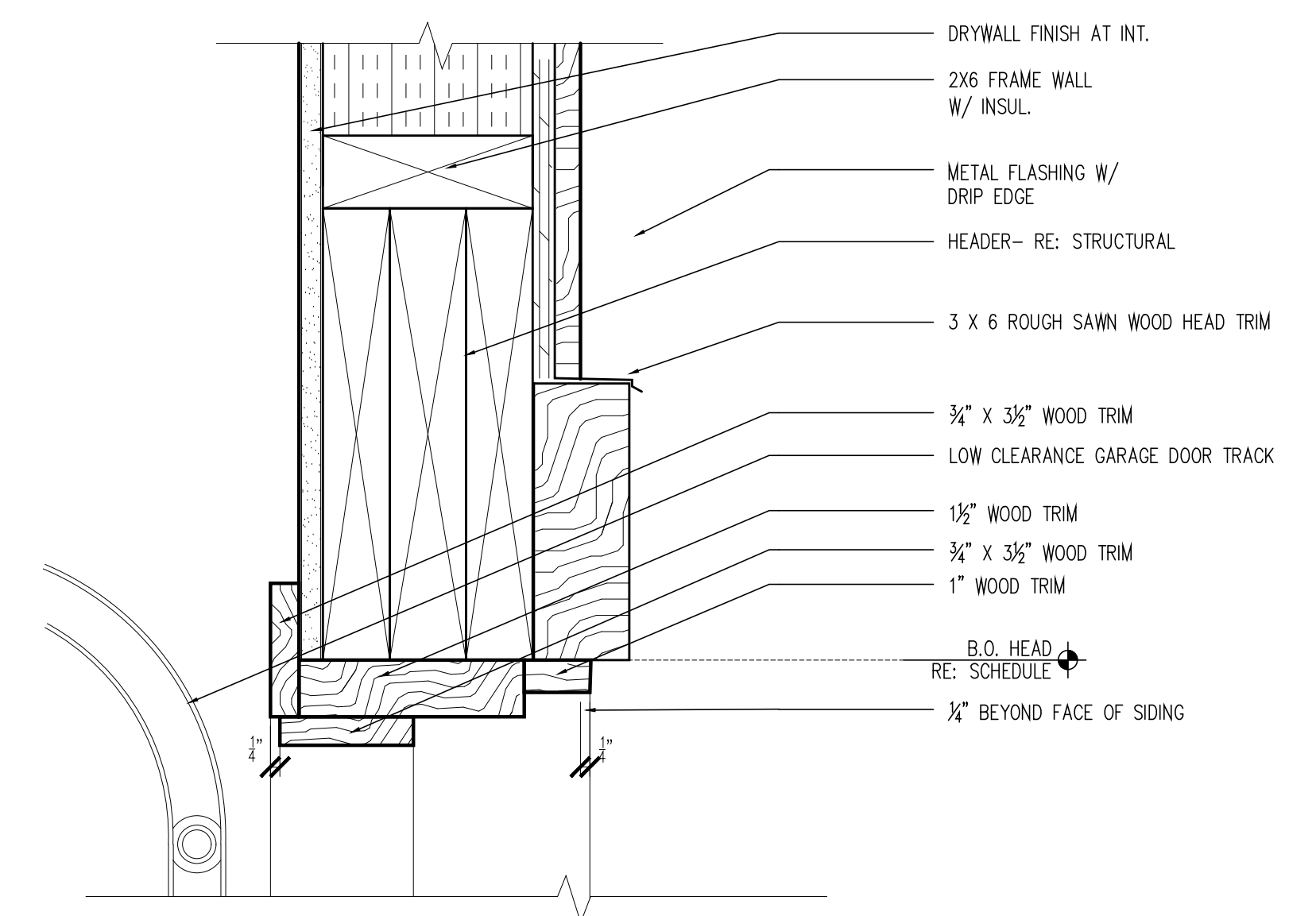
8 WINDOW TRIM ELEVATION @ WOOD
A5.5 SCALE: 1" = 1'-0"



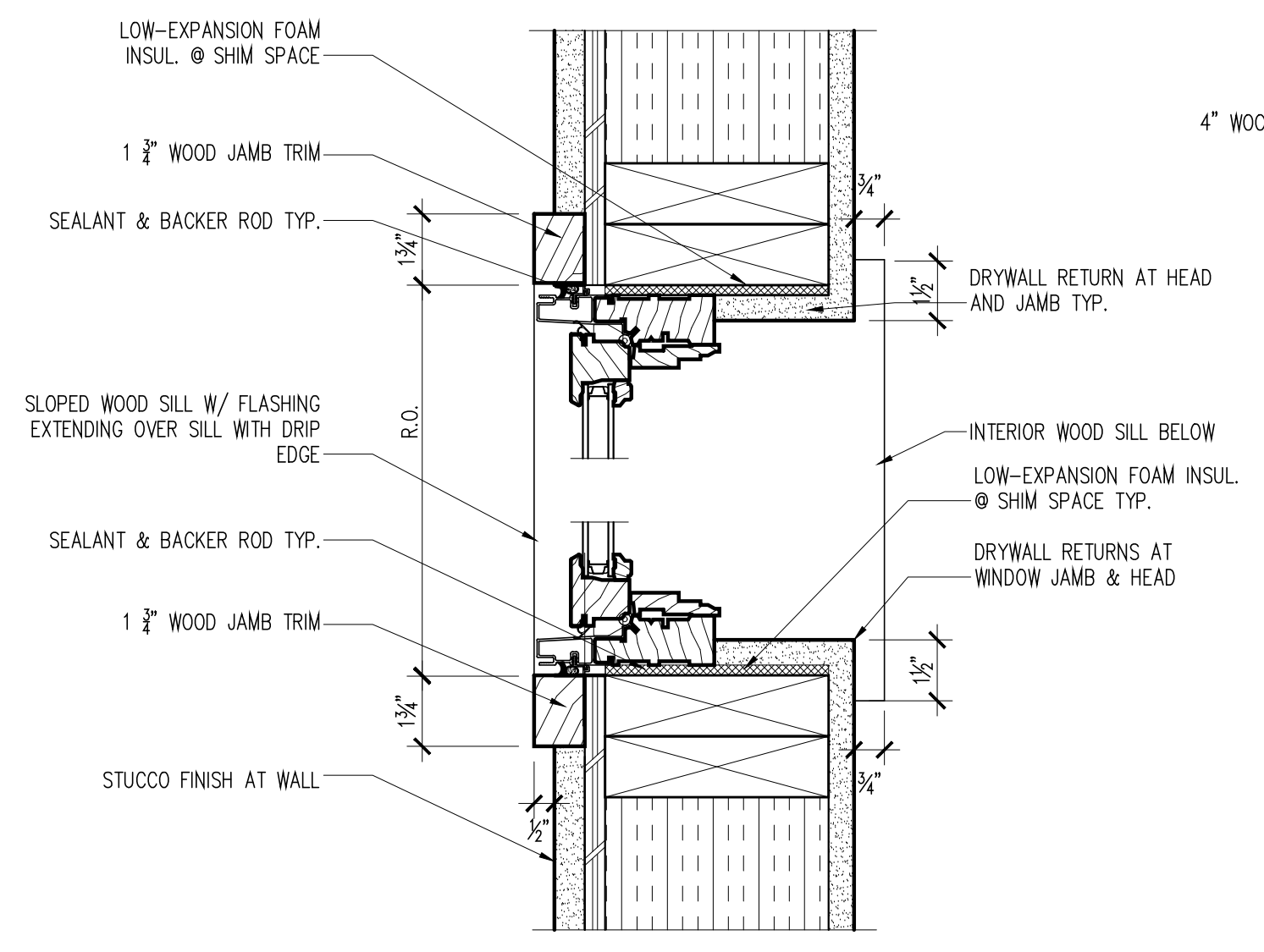
7 GARAGE DOOR SILL DETAIL
A5.5 SCALE: 3" = 1'-0"



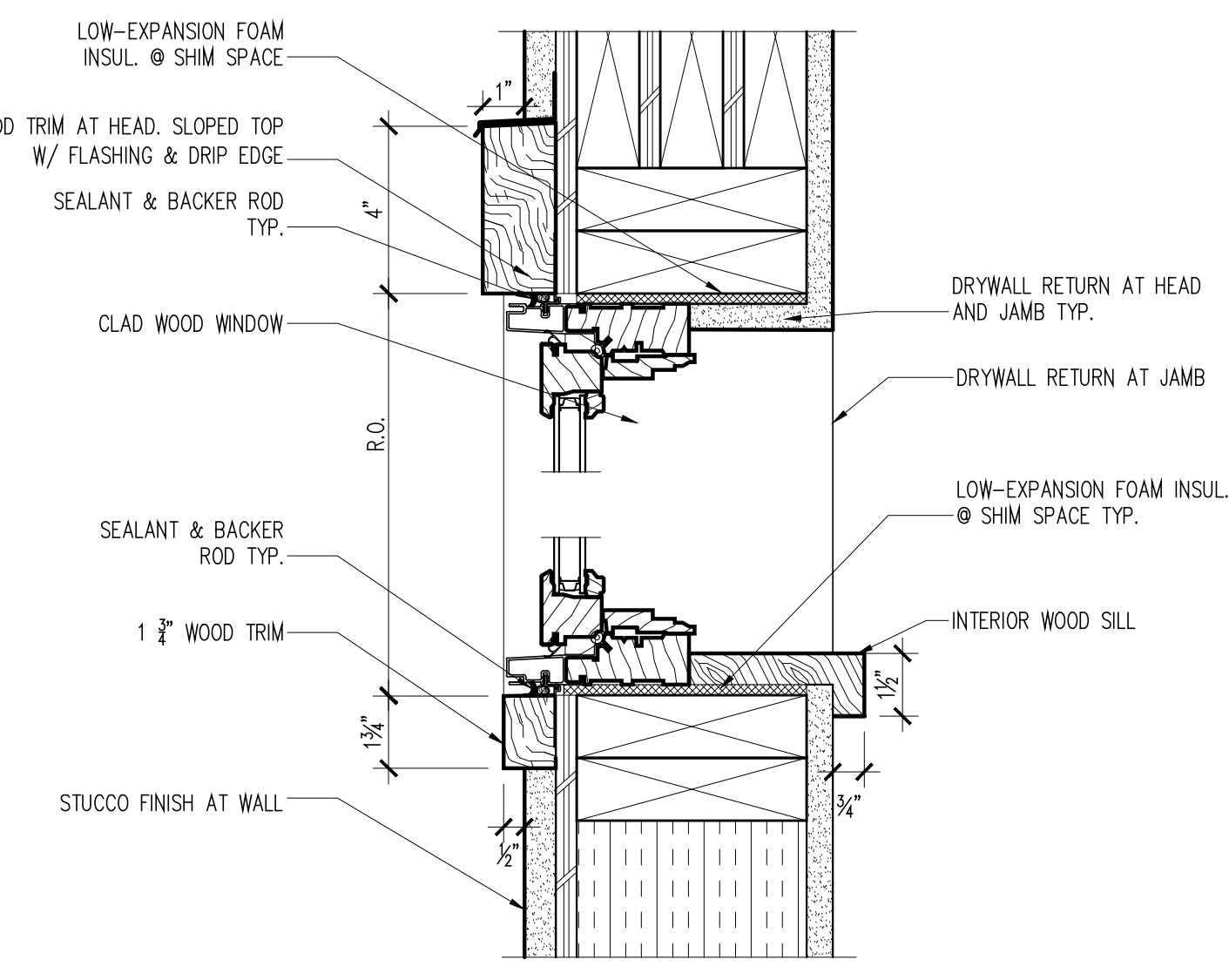
6 GARAGE DOOR JAMB DETAIL
A5.5 SCALE: 3" = 1'-0"



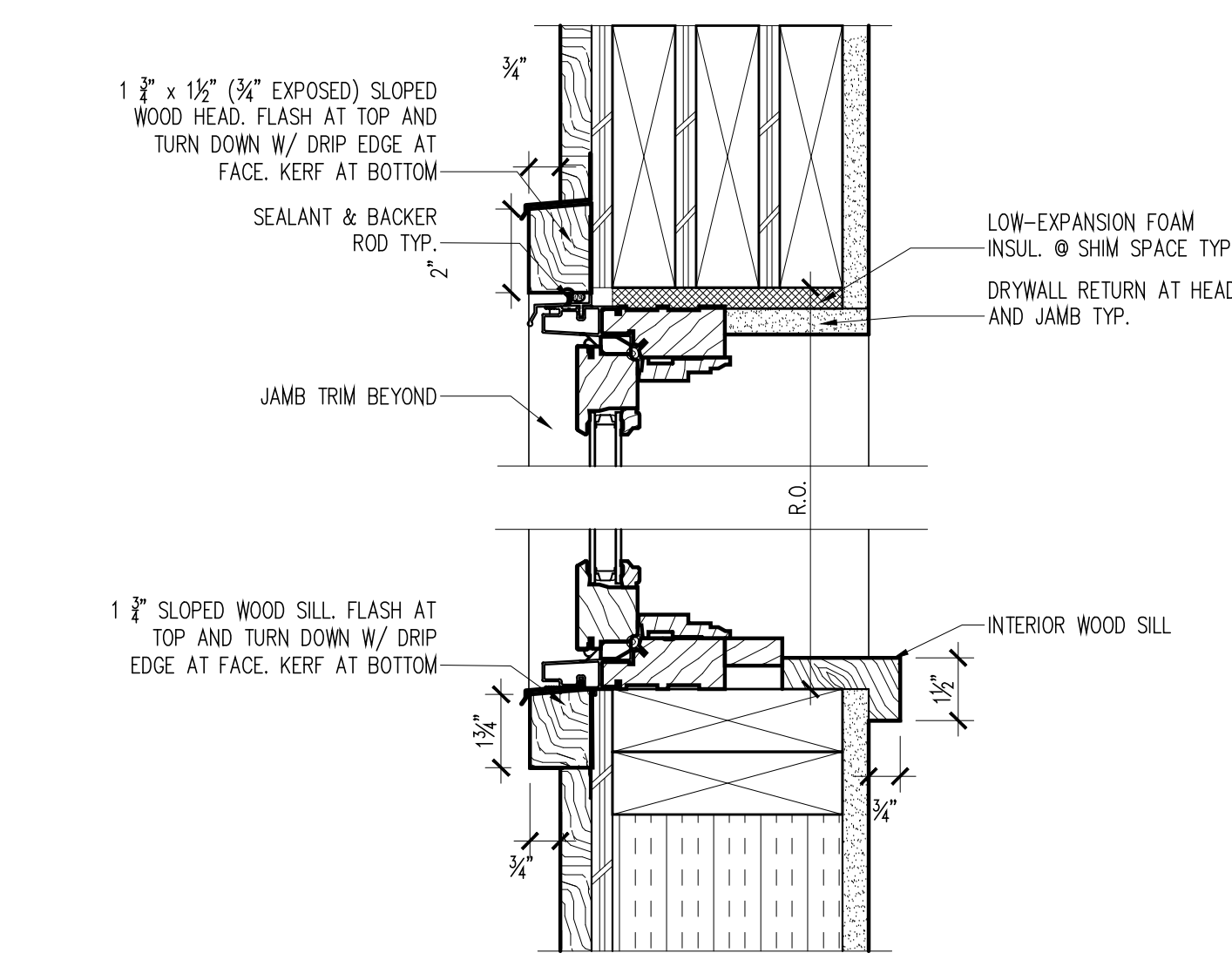
5 GARAGE DOOR HEAD DETAIL
A5.5 SCALE: 3" = 1'-0"



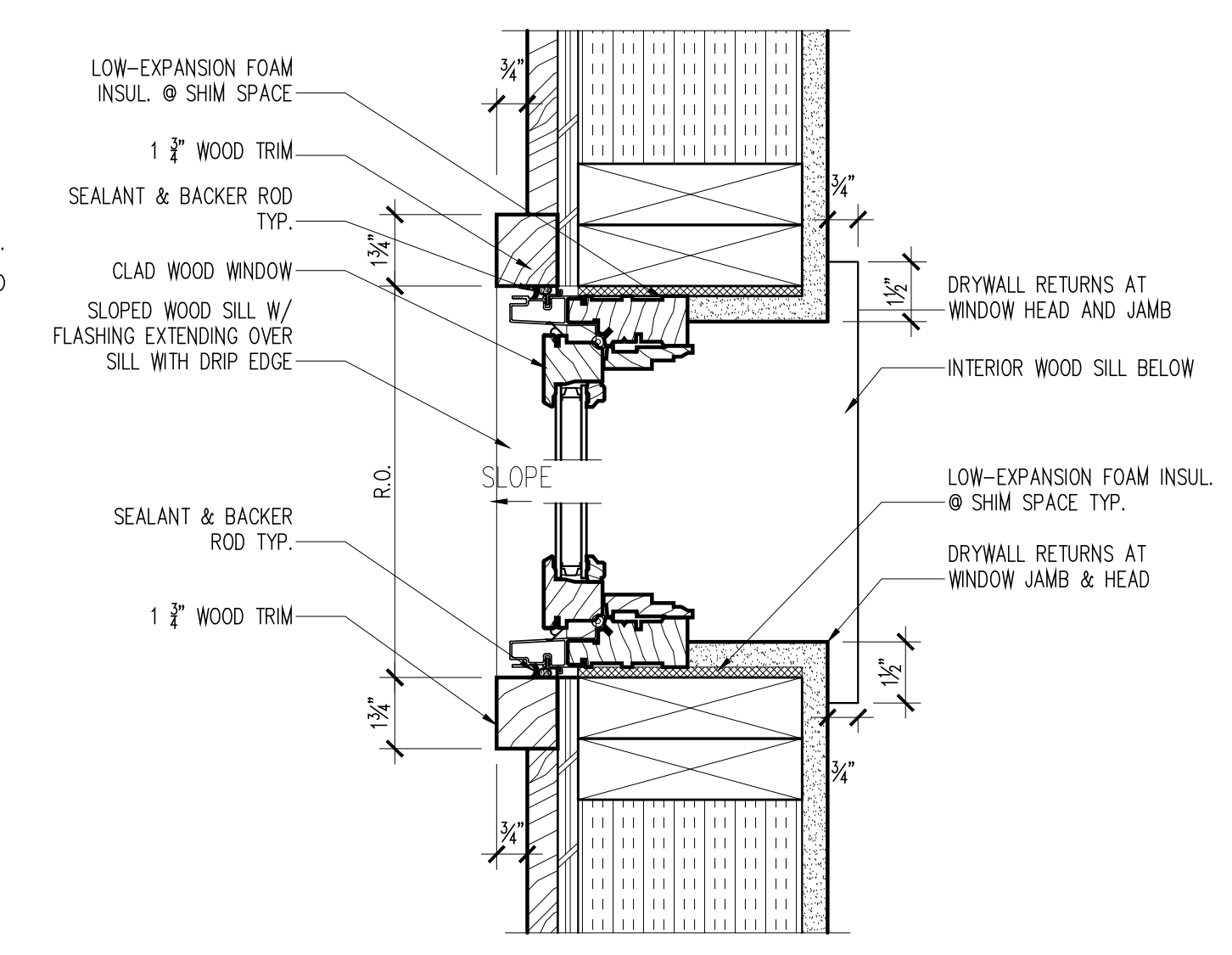
4 WINDOW HEAD/SILL DETAIL @ STUCCO
A5.5 SCALE: 3" = 1'-0"



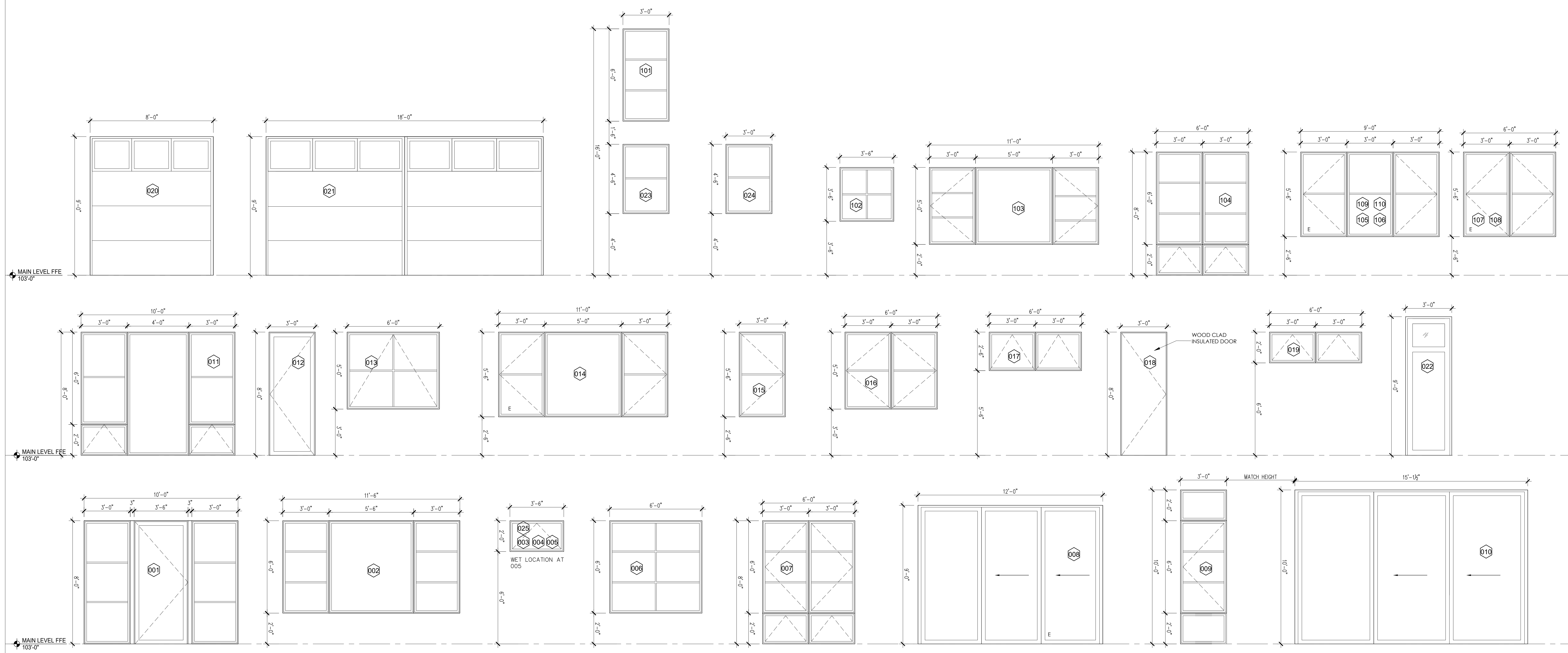
3 WINDOW JAMB DETAIL @ STUCCO
A5.5 SCALE: 3" = 1'-0"



2 WINDOW HEAD/SILL DETAIL @ WOOD
A5.5 SCALE: 3" = 1'-0"



1 WINDOW JAMB DETAIL @ WOOD
A5.5 SCALE: 3" = 1'-0"



1 WINDOW SCHEDULE
 A7.1 SCALE: 3/8" = 1'-0"

FENESTRATION TO MEET REQUIRED AVERAGE WEIGHTED U VALUE .30
 RE: WINDOW MFG DRAWINGS FOR TEMPERING

ISSUED FOR:	DATE:
DRB PREDESIGN	7-5-24
PROGRESS	7-15-24
DRB PRELIMINARY	9-2-24
DRB FINAL	12-6-24

SHEET SCALE: 3/8" = 1'-0"
 DRAWN BY: PK
 PROJECT: 36 DEWEY PARK
 COPYRIGHT 2024
 KRUEGER ARCHITECTURE & DESIGN

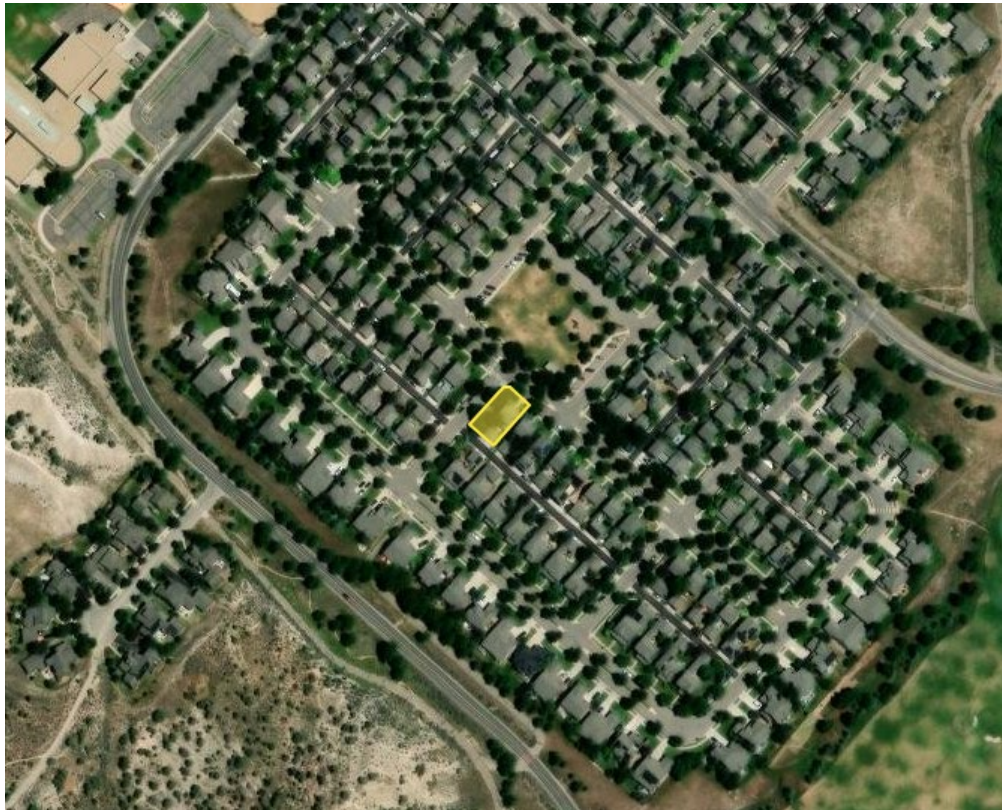


Design Review Memorandum

Project Number: 18-00-44
Owner Name: Josh and Jodie Nagle
Architect: BKW Architects
Address: 154 Longview Ave.
Legal: EAGLE RANCH FILING 18 Lot: 44
Final DRB Meeting Date: December 19, 2024

PROJECT OVERVIEW

- Lot Size: 6,926 sf
- Accessory Dwelling Unit: Yes
- Slopes in Excess of 30%: No
- Design Guidelines: Neighborhood Center
- Style: Victorian



LIMITATIONS

Standard	Allowed	Proposed
Floor Area Minimum	900 sf	Complies
Site Coverage	40% = 2,770 sf	1,885 sf
Impervious Area	60% = 4,155 sf	3,318 sf
Height	35 ft	Complies
Setbacks	Front: 25'/17' (Build to/Front Porch) Side: 7.5' Side Street: 25'/17' (Build to/Porch) Rear: 5'	See comments below
Driveway Setback	5 ft from side property line	>5 ft

Major Exterior Alteration with Addition of Square Footage for ADU – December 19, 2024

1. Site and Landscape Comments

a. 3.2.1(D) Rear and Side Setbacks

- *The minimum setback for the house and garage from the side property lines is 7.5' (except as provided for side street setback for corner homesites).*
 - *The minimum side street setback is 25' from the side property line, except for side porches which may not be placed nearer than 17 feet (including eaves) from the side property line.*
- Plans currently show a portion of new garage, ADU and concrete slab in specified setbacks.

Additional discussion points:

The Eagle Ranch PUD has noted less restrictive setbacks for Filing 18, which the applicant feels should take priority over the Design Guidelines.

Per the Seventh Amended PUD Guide For Eagle Ranch Planned Unit Development
3.B.5 Minimum Building Setback Requirements:

Front: 15 feet.

Front yard setbacks along MacDonald and Gambel Streets shall be 15' from the property line to the front facade of the building. Porches less than 42" above finish grade and roofs over porches may not be closer than 10' to the front property line. Decks or balconies over porches shall not be closer than 15' to the front property line. Steps to porches may not be closer than 5' to the front property line.

Side: 5 feet, except in Tract C, G and E the side yard setback is 7.5 feet.

Residential buildings on separate lots must maintain a 15' separation from the primary wall planes.

Rear: 5 feet, except in Tract C, G and E the rear yard setback is 15 feet.

There shall be a 50' building setback from minor streams and a 100' building setback from Brush Creek.

Notes from applicant:

I spoke with Jessica Lake from the Town of Eagle Planning Department. The Town of Eagle only recognizes the Eagle Ranch Planned Unit Development (PUD) as the governing document they refer to when approving building permits. Therefore, if this application were presented to the Town of Eagle as it is, they would approve it for a building permit.

Based on this information, along with the approval from the Village Homes Design Review Committee (DRC) for this project, we would like to have it reviewed by the Eagle Ranch Design Review Board (DRB). We hope the Eagle Ranch DRB will consider the Village Homes DRC's ruling on this project and allow the Traditional Neighborhood Guidelines to remain silent, granting approval based on the Eagle Ranch

PUD documents established in 1998. The PUD allows for a minimum setback of 15 feet; if this distance was never intended to be used, it should not have been included in the Eagle Ranch PUD to begin with.

We look forward to meeting with the Eagle Ranch DRB to discuss this matter further.

Staff requests DRB input.

2. Architecture Comments

- a. In general, staff find the proposed architecture to be in compliance with the Neighborhood Center Design Guidelines and the Victorian style.

3. Staff Recommendation

Staff is not comfortable recommending approval for Final Review due to issue with building encroachment into the side street setback (as outlined in the Neighborhood Center Design Guidelines).

1. General Condition: Compliance with the Eagle Ranch Design Guidelines and process is not a substitute for compliance with Town of Eagle regulations, State regulations, or Federal regulations. Additional permits and approvals may be required by these agencies prior to commencing any work on the property. The property owner and its agents are responsible for ensuring compliance with all local, state, and federal regulations.
2. The applicant shall address the comments provided in this staff memorandum and any DRB comments prior to submittal for Technical Review.

THE VILLAGE HOMES OF EAGLE RANCH ASSOCIATION, INC.

DESIGN REVIEW APPLICATION - PAGE 2

Applicant Name: Josh and Jodi Nagle - BKW Architects, LLC Keegan Winkeller

Lot Number: 44 Street Address: 154 Longview Ave, Eagle CO 81631

Action of the Village Homes Design Review Committee

Approved as submitted.

Approved, subject to Terms & Conditions on Page 1 and:

Denied, for the following reasons: _____

Completion required by: October 2025

DRC Authorized Signature Kimberly Rowland Date 11/9/2024

THE VILLAGE HOMES OF EAGLE RANCH ASSOCIATION, INC.

DESIGN REVIEW APPLICATION - PAGE 1

Applicant Name: Josh and Jodi Nagle - BKW Architects, LLC - Keegan Winkeller
Lot Number: Lot 44 Street Address: 154 Longview Ave, Eagle CO 81631
Mailing Address: PO Box 7586 Avon, CO 81620
Home Phone: 970.977.1092 Work Phone: Keegan Winkeller (970)306-2175

Application for the following:

- Painting Deck/Patio Roofing
- Landscaping Patio Cover Addition
- Fencing Other _____

Description of improvement:

Connection existing house to detached garage, building an Auxiliary Dwelling Unit above garage (ADU) accessed by exterior stair, (1) 9x19 off-street parking space provided for ADU inside new garage bay, re-frame existing deck to infill between house and garage, paint new addition to match existing house color scheme and minor landscaping to restore backyard post construction.

Planned Start Date: April 1st 2025 Planned Completion Date: October 1st 2025

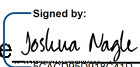
Attachments required:

- Exterior Paint Request Form or Accessory Building Request Form (if applicable)
- Specifications for materials and colors
- Architectural drawings that show dimensions
- Architectural detail drawings that show how improvement will be attached or supported
- Detail drawings or pictures that give clear idea of finished appearance

Terms and Conditions:

1. Applicant must also receive and submit written approval of the Eagle Ranch Design Review Administration (ERDRA) in order to proceed.
2. Approval of the Design Review Committee and ERDRA does not constitute approval of local Building Department and a building permit may be required.
3. Improvements must be completed as described upon approval.
4. Applicant must comply with the Covenants, Conditions, Restrictions and Easements for The Village Homes of Eagle Ranch and Eagle Ranch and Design Guidelines for The Village Homes of Eagle Ranch and Eagle Ranch.
5. Improvements shall not alter existing drainage patterns.
6. Applicant is responsible for any and all damage to any structure, Common Area, or any other improvement or property.
7. A bond may be required of Applicant in order to proceed.

I have read, understand, and agree to the Terms and Conditions listed above.

Applicant Signature  Date 10/30/2024

Exterior Lighting Worksheet – Eagle Ranch Design Review

Filing/Block/Lot: FILING 18/LOT 44 Address: 154 LONGVIEW AVE, EAGLE CO 81631

Luminaire (Fixture) Location	Luminaire (Fixture) Data		Lamp (Bulb) Data				Lumens by Luminaire Type		Switch Type ⁶
	Brand/Model # - Attach Manufacturer Cut Sheet(s)	Qty	Lamp Type ¹	Lamps per Luminaire	Watts per Lamp ²	Lumens per Lamp ³	Unshielded Luminaires ⁵	IDA Certified Luminaires ^{4,5}	
B	NEW - WAC SODOR WS-W15708-BZ	7	LED	1	9	750	<input type="checkbox"/>	<input checked="" type="checkbox"/>	M
							<input type="checkbox"/>	<input type="checkbox"/>	
							<input type="checkbox"/>	<input type="checkbox"/>	
							<input type="checkbox"/>	<input type="checkbox"/>	
							<input type="checkbox"/>	<input type="checkbox"/>	
Subtotal Lumens by Luminaire Shielding Category (Unshielded or IDA Certified ⁴)							≤ 2,000 lumens		
Total Lumens all Luminaire Categories (not to exceed 5,500 Lumens)								5,250 ≤ 5,500 lumens	

Prepared by: BKW Architects, LLC Signed by: _____ Date: 10-29-24

Owner Signature: *Joshua Nagle* 5CACD95D918C41D... _____ Date: 10/30/2024

Print Name: Josh and Jodi Nagle

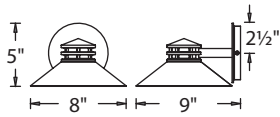
- Notes:
- Lamp (Bulb) Type = Incandescent (I), Compact Fluorescent (CFL), Low-voltage Halogen (LV), Light Emitting Diode (LED), etc.
 - Watts as marked on lamp.
 - Lumen comparisons for lamp types. General retail outlets (i.e. grocery, hardware store, etc.) may not carry all wattages. Consider specialty stores or internet sources.

Typical Lumens/Lamp ³ :						
Incandescent		Compact Fluorescent		Lo-Voltage Halogen		
Watts	Lumens	Watts	Lumens	Lamp Base	Watts	Lumens
25	200	5	200	G4	5	55
40	500	8-10	450	G4	10	140
60	800-890	13-18	890	G4	20	320
75	1080-1200	18-22	1210	G6Y.35	35	600
100	1420-1750	23-28	1750	G6Y.35	50	950

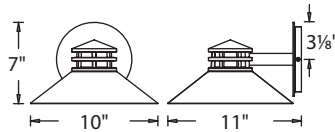
- The International Dark-Sky Association (<http://www.darksky.org>) certifies luminaires that minimize glare, reduce light trespass, and don't pollute the night sky.
- Luminaire Shield Category is Unshielded unless specifically certified with International Dark-Sky Association Fixture Seal of Approval.
- Switch Type = manual (M), motion detector (MD), photocell (P), rheostat (R), timer (T)

SODOR – model: WS-W157
 dwelLED™ LED Outdoor

WAC LIGHTING
 Responsible Lighting®



WS-W15708



WS-W15710

Fixture Type: **TYPE - B**

Catalog Number: **WS-W15708-BZ**

Project: **Nagle Residence**

Location: **EXT. WALL SCONCE**

PRODUCT DESCRIPTION

A Steamwork inspired approach to a traditional lantern design. Sodor is constructed with a solid die cast aluminum shade that provides fantastic glare cutoff and a weather resistant powder coated finish. The light engine is factory sealed for maximum protection against the harshest elements.

FEATURES

- Weather resistant powder coated finishes
- Heavy aluminum shade provides great glare cutoff
- Light engine is factory sealed for maximum protection from the elements
- Die-cast aluminum construction
- No transformer or driver required
- Color Temp: 3000K
- CRI: 90
- Dimming: 100% - 5% ELV
- Rated Life: 54,000 hours
- Input: 120V

SPECIFICATIONS

Construction: Aluminum and White Diffuser Lens

Light Source: High output LED.

Finish: Bronze (BZ), Graphite (GH)

Standards: ETL & cETL wet location listed. IP 65. Dark Sky Friendly

ORDER NUMBER

		Watt	LED Lumens	Delivered Lumens	Finish
8"	WS-W15708	9W	750	315	BZ Bronze
10"	WS-W15710	11.5W	1200	560	GH Graphite

Example: **WS-W15708-GH**

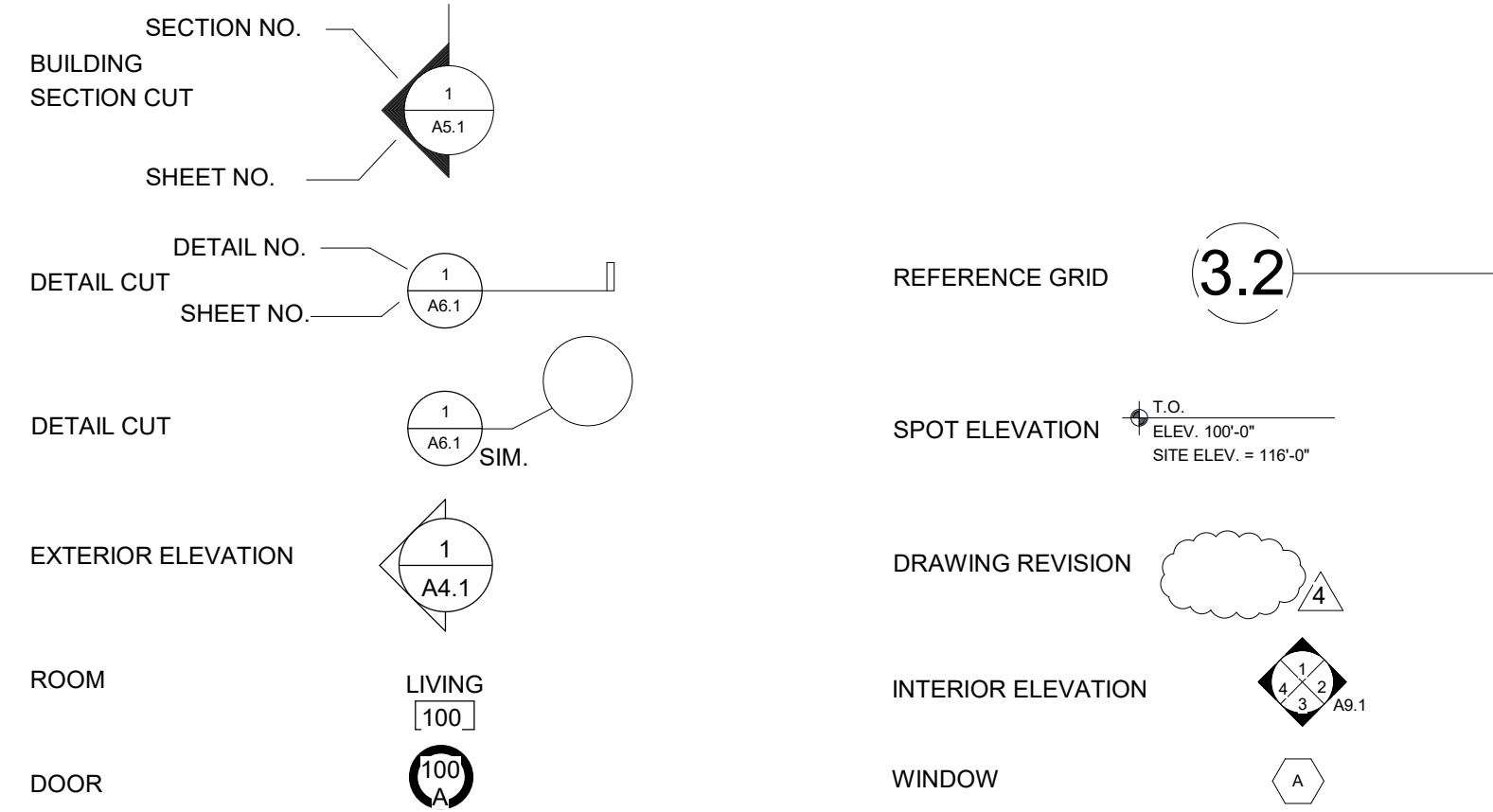
waclighting.com
 Phone (800) 526.2588
 Fax (800) 526.2585

Headquarters/Eastern Distribution Center
 44 Harbor Park Drive
 Port Washington, NY 11050

Central Distribution Center
 1600 Distribution Ct
 Lithia Springs, GA 30122

Western Distribution Center
 1750 Archibald Avenue
 Ontario, CA 91760

SYMBOL LEGEND



MATERIAL LEGEND

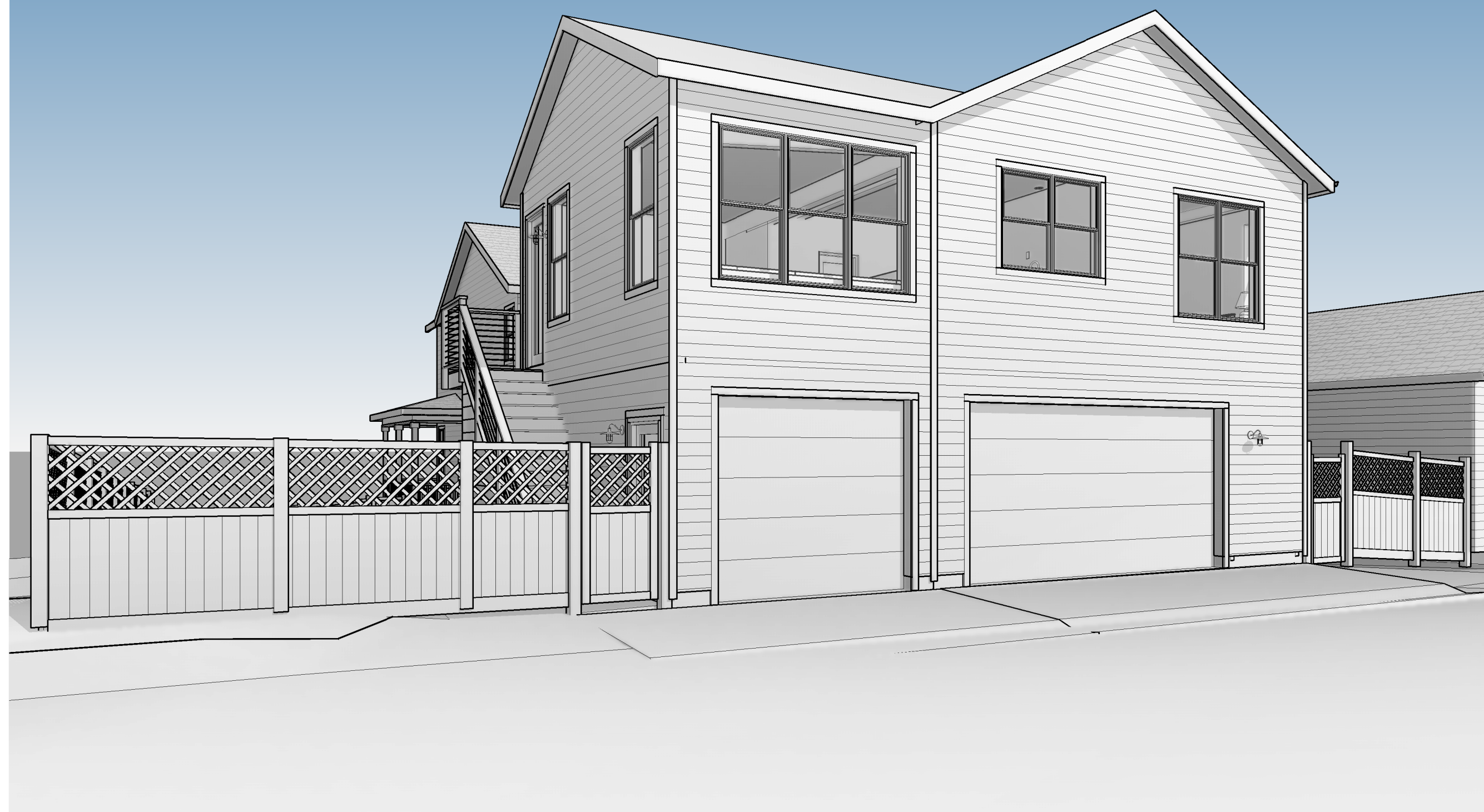
SECTION		PLAN		SECTION		PLAN	
CONCRET			SOIL/ COMPACTED			ROCK	
CONCRETE			ROCK			NON-COMPACTED	
STONE			SAND				
FRAME			FINISHED WOOD				
TILE			ROUGH FRAMING			ROUGH SAWN	
GLAZING			WOOD				
STEEL			GLU-LAM				
ALUMINUM			PARTICLE BD. OR			WOOD FIBER	
SHEET METAL			WOOD FIBER				
BATT INSULATION			RIGID INSULATION				
GYP. WALL			ACOUSTICAL CEILING				
STUCCO/			CARPET				
PLYWOOD							

ABBREVIATIONS

AAD	Attic Access	GALV	Galvanize	RW	Roof Window
ADD	Addendum	GC	General	RO	Rough Opening
ADJ	Adjacent	GL	Glas	SAN	Sanitary
AOR	Area of Refuge	GR	Grade	SECT	Section
AG	Aggregate	GLD	Laminated Wood	SEW	Sewer
AFF	Above Finished	GYP	Gypsum	SHT	Sheet
ALT	Alternate	GWB	Gypsum	SHLV	Shelve
ARCH	Architectura	HDW	Hardwar	SIM	Similar
BM	Beam	HD	Head	SL	Sliding
BRG	Bearing	HVAC	Heating, Ventilating, and Air Conditioning	SM	Sheet Metal
BET	Between	STC	Sound- Transmission	STC	Sound- Transmission
BD	Board	HT	Height	SPEC	Specification
BS	Both Sides	HWY	Highwa	SQ	Square
BO	Bottom Of	HO	Horizontal	STD	Standard
BLDG	Building	ID	Inside Diameter	STL	Steel
CAB	Cabinet	INT	Interior	STRUCT	Structure
Cpt	Carpet	JT	Joint	SUB	Substitute
CL	Centerline	LAM	Laminate	SUPPL	Supplement (al)
CER	Cerami	LAV	Lavator	SUSP	Suspend
CLOS	Closet	MF	Manufacture	TEL	Telephone
CM	Concrete Masonry	M	Masonry	TV	Television
COL	Column	MTL	Material	TEMP	Tempered
CON	Concret	MA	Maximu	IE	That Is
CJ	Construction	M	Medicine Cabinet	THK	Thick
CONT	Continuous	MEC	Mechanica	TPH	Toilet Paper Holder
DP	Damproofing	MIN	Minimu	T&G	Tounge and
DET	Detail	MISC	Miscellaneous	T&B	Top and Bottom
DIA	Diamete	NIC	Not In Contract	TO	Top Of
DIM	Dimensio	NA	Not Applicable	T	Tread
DW	Dishwashe	NTS	Not to Scale	TS	Tube Steel
DN	Dow	OC	On	TYP	Typical
DR	Drain	OP	Opening	UG	Underground
DS	Downspou	OPP	Opposite	U.N.O	Unless Noted
DRW	Drawin	OSB	Oriented Strand	UNFIN	Unfinished
EA	Each	OD	Outside	UBC	Uniform Building Code
EL	Elevation	d	Penny (nails,	USG	United States
EQ	Equal	PAF	Power Actuated	VAR	Variable
EXIST	Existin	PERF	Perforated (d)	VENT	Ventilate
EJ	Expansion	PFS	Prefinished Sheet Metal	VIF	Verify In Field
EXT	Exterio	PL	Plate	VERT	Vertical
FE CABT	Fire Extinguisher	PLWD	Plywood	VAT	Vinyl Asbestos Tile
FO	Face Of	PRO	Product	V	Voltage
FOS	Face Of Stud	PRO	Project	WC	Water Closet
FIN	Finish	PROP	Property	Waterproof	Waterproof
FP	Fireproof	R	Radius or	WT	Weight
FL	Floor	REF	Refer	WIN	Windo
FD	Floor Drain	REFR	Refrigerator	W/	With (comb.
FTG	Footing	REINF	Reinforce (d)	W/O	Without
FDN	Foundation	REQ	Required	WD	Wood
GA	Gauge	RHS	Round Head Sheet Metal		
		R	Roo		

NAGLE RESIDENCE REMODEL

154 LONGVIEW AVE, LOT 44
EAGLE, CO 81631



DRC REVIEW SET

Issue Date: 2024-10-29

GENERAL NOTES

- The contract documents, aka construction documents, consist of the architectural and structural drawings/notes, the exterior color/material schedule, architectural finish schedule, and the project outline specifications as well as the agreement between the contractor and owner. Any work shown, specified and/or noted in one of the documents shall be supplied as though fully covered in all. Any discrepancy between the different parts should be reported to the architect immediately.
- Contractor will assume responsibility of items requiring coordination and resolution during the construction process. All work shall comply with all state and local codes and ordinances, and shall be performed to the highest standards of craftsmanship by journeyman of the appropriate trades.
- These documents are intended to include all labor, materials, equipment and services required to complete all work described herein. It is the responsibility of the contractor to bring to the attention of the architect any conditions which will not permit construction per the intentions of these documents. It is the responsibility of the architect to provide details and/or directions regarding design intent where it is altered by existing conditions or where neglected in the documents.
- All change orders must be approved in writing by the owner prior to contractor performing any work associated with a change order unless owner has authorized contractor to proceed.
- Any materials proposed for substitution of those specified or called out by trade name in these documents shall be presented to the architect for review and approval. The contractor shall submit samples, product data, manufacturers installation recommendations and a side by side analysis / spread sheet comparing ASTM testing/performance or other applicable standards, warranty, limitations, maintenance considerations, cost, LEED timeschedule impact, any incompatibility/impact to other products or systems in project, and impact on LEED certification if applicable for the project for the proposed substitution and the specified product. Once all required information is received by architect, a minimum of three weeks' time is required for review and approval and or denial of substitution.
- Submit samples as required by drawings and specifications. All samples shall be reviewed by the architect before the work is performed. Work must conform to the reviewed samples. Any work which does not conform shall be removed and replaced with work which conforms at the contractor's expense. Subcontractors shall submit requests and samples for review through the general contractor when work is let through him or her. Required verifications and submittals to be made in adequate time as to not delay progress. Once completed samples including all required product information if applicable is received by architect, a minimum of three weeks' time is required for review and approval and or denial of samples.
- Shop drawings must be thoroughly reviewed and stamped approved by contractor prior to submitting to architect to make sure they meet construction document requirements and are accurate in terms of correct quantities, dimensions, making and design intent. Shop drawings shall be submitted to the architect for his or her review where called for anywhere in these documents. Review shall be made by the architect and architect's consultants for general compliance with construction drawings and design intent only. Architect's review is required before work is begun, and work shall conform to the reviewed shop drawings, subject to replacement as required per above. Architect will try to identify any discrepancies in shop drawings, but contractor is ultimately responsible for shop drawing accuracy as the shop drawings are a product of their subcontractor.
- The building inspector shall be notified by the contractor when there is need of inspection as required by the 2015 international building code/international residential code, 2015 IECC, or any applicable or local code or ordinance.
- Unless noted otherwise, the contractor shall be responsible for the safety and care of adjacent properties during construction, for compliance with federal and state O.S.H.A. regulations, and for the protection of all work until it is delivered completed to the owner. Contractor to repair any damage to adjacent properties or completed work at his or her own expense.
- All dimensions noted take precedence over scaled dimensions. Dimensions noted with "N.T.S." denotes not to scale. Contractor shall verify and coordinate all openings through floors, ceilings, and walls with all architectural, structural, mechanical, plumbing, and electrical drawings. Verify with structural engineer if holes/notches can be cut in structural members prior to doing so.
- Contractor to coordinate new construction w/ existing conditions and notify architect and structural engineer about discrepancies of drawings of existing house/conditions and assumptions. Every reasonable effort should be made by

PROJECT INFORMATION

BUILDING DATUM IS 0'-0" ON THE ARCHITECTURAL PLANS, WHICH EQUALS 6662' USGS AS SHOWN ON SITE PLAN A2.0

MATERIAL INFORMATION

- SIDING - SMART TRIM HORIZONTAL SIDING TO MATCH EXISTING
- TRIM - REVERSIBLE SMART TRIM 5/4" X 3 1/2" SMOOTH SIDE OUT - PAINTED TO MATCH EXISTING
- WINDOWS - ANDERSON 100 SERIES WHITE WINDOWS
- ROOFING - ASPHALT SHINGLES TO MATCH EXISTING
- GUTTERS AND DOWN SPOUTS - TO MATCH EXISTING

AREA CALCULATIONS

LOWER LEVEL EXISTING	=	970 SF
MAIN LEVEL EXISTING	=	970 SF
NEW	=	133 SF
MAIN LEVEL TOTAL	=	1,103 SF
UPPER LEVEL EXISTING	=	844 SF
TOTAL	=	2,917 SF

GARAGE EXISTING	=	504 SF
NEW	=	252 SF
TOTAL	=	756 SF

ADU NEW	=	755 SF
---------	---	--------

CODE INFORMATION

CODE - 2021 IRC, 2020 NEC, 2021 IECC
OCCUPANCY TYPE: SINGLE FAMILY WITH ADU

ENERGY CONSERVATION: THE BUILDING COMPLIES WITH THE ENERGY CONSERVATION REQUIREMENT FROM CHAPTER 4 OF THE 2021 INTERNATIONAL ENERGY CODE PER CLIMATE ZONE 6B AS ADOPTED BY THE TOWN OF EAGLE, AND AS DEMONSTRATED BY PRESCRIPTIVE BUILDING THERMAL ENVELOPE, AS FOLLOWS:

The following is a summary for the climate zone 13 of Table 1102.1 requirements of the IECC and as adopted by The Town of Eagle, and an outline of the proposed R values of the assemblies of the building which are defined in the Construction Document Drawings and Specifications:

Maximum Glazing U-Factor of .35 for new single family dwelling units.
The Anderson windows and doors with dual glazed Low E glazing (Low E on two surfaces) exceeds this requirement with combined U-Value of .28.

Exterior Walls Insulation - Requires R-19; Providing R-22 with 5 1/2" BIBBS(Blown-in Batts Blanket System) @ R-4 per inch.

Roof Insulation - Requires R-49 - R-49 is reduced to R-38 since entire insulation assembly is above top plate of the wall. Providing R-50 with 25" loose fill blown-in fiberglass insulation @ R-2 per inch. Provide Higher density insulation @ perimeter to achieve R-38 @ R-4 per inch for 12".

Floor Insulation @ exterior condition - Providing R-43.2 with Floor joists cavity to be filled with 2" of 28 spray foam insulation applied to the underside of the plywood sheathing providing R-13.2 @ R-6.6 per inch. In-fill the remaining 10" cavity with BIBBS providing R-40 @ R-4 per inch .

Floor Insulation @ interior condition - Providing R-56 Floor joists cavity to be filled with 5 1/2" BIBBS(Blown-in Batts Blanket System) @ R-4 per inch.

Interior walls - Cavity to be filled with Fiberglass Batts sound insulation

PLUMBING: Plumbing by Owner

MECHANICAL: Garage heat will be provide by existing electric heater. ADU heat will be provided by 2-zone mini split heat pump. Heating systems to be design build by owner.

ELECTRICAL: Existing electrical service at the Garage is 150 Amps and will be upgraded to 200 Amp to accommodate the new electrical loads required for the ADU.

DRAWING LIST:

- A1.0 COVER SHEET
- SURVEY / ILC
- ARCHITECTURAL DRAWINGS**
- A2.0 SITE PLAN
- A3.1 MAIN LEVEL FLOOR PLAN
- A3.2 UPPER LEVEL FLOORPLAN
- A3.3 ROOF PLAN
- A4.1 ELEVATIONS
- A4.2 ELEVATIONS
- A4.3 ELEVATIONS



NAGLE RESIDENCE REMODEL

154 LONGVIEW AVE, LOT 44
EAGLE, CO 81631

DRC REVIEW SET

ISSUE DATE 2024-10-29

No.	Description	Date

PROJECT DIRECTORY

OWNER/CONTRACTOR

Josh and Jodi Nagel

Physical Address:
154 Longview Ave.
Eagle, CO 81631
Phone: (970) 977-1092
Email: josh81631@gmail.com

ARCHITECT

BKW ARCHITECTS, LLC

Contact: B. Keegan Winkler

Mailing address:
P.O. Box 5874
Physical Address:
172 Longview Ave
Eagle, CO 81631
Phone: (970) 306-2175
Email: keegan@bkwarch.com

SHEET TITLE

COVER PAGE

SHEET NO.

A1.0

IMPROVEMENT SURVEY PLAT

PROPERTY DESCRIPTION

Lot 44, Eagle Ranch, Filing No. 18, Town of Eagle, according to the Final Plat thereof recorded May 31, 2005 as Reception No. 917572, in the Office of the Eagle County Clerk and Recorder, County of Eagle, State of Colorado.

CERTIFICATION

I, Stephen R. Wujek, a Professional Land Surveyor in the State of Colorado, do hereby certify that this Improvement Survey Plat was prepared for Village Homes and is the result of a survey performed by me or under my direct supervision, responsibility and checking. I further certify that this Improvement Survey Plat is in conformance with 38-51 C.R.S. and standard survey methods practiced in the area at the time of this survey.



Stephen R. Wujek
Colorado Professional
Land Surveyor

PLS 22589

PLS 22589

PLS 22589

PLS 22589

PLS 22589

PLS 22589

PLS 22589

PLS 22589

PLS 22589

PLS 22589

PLS 22589

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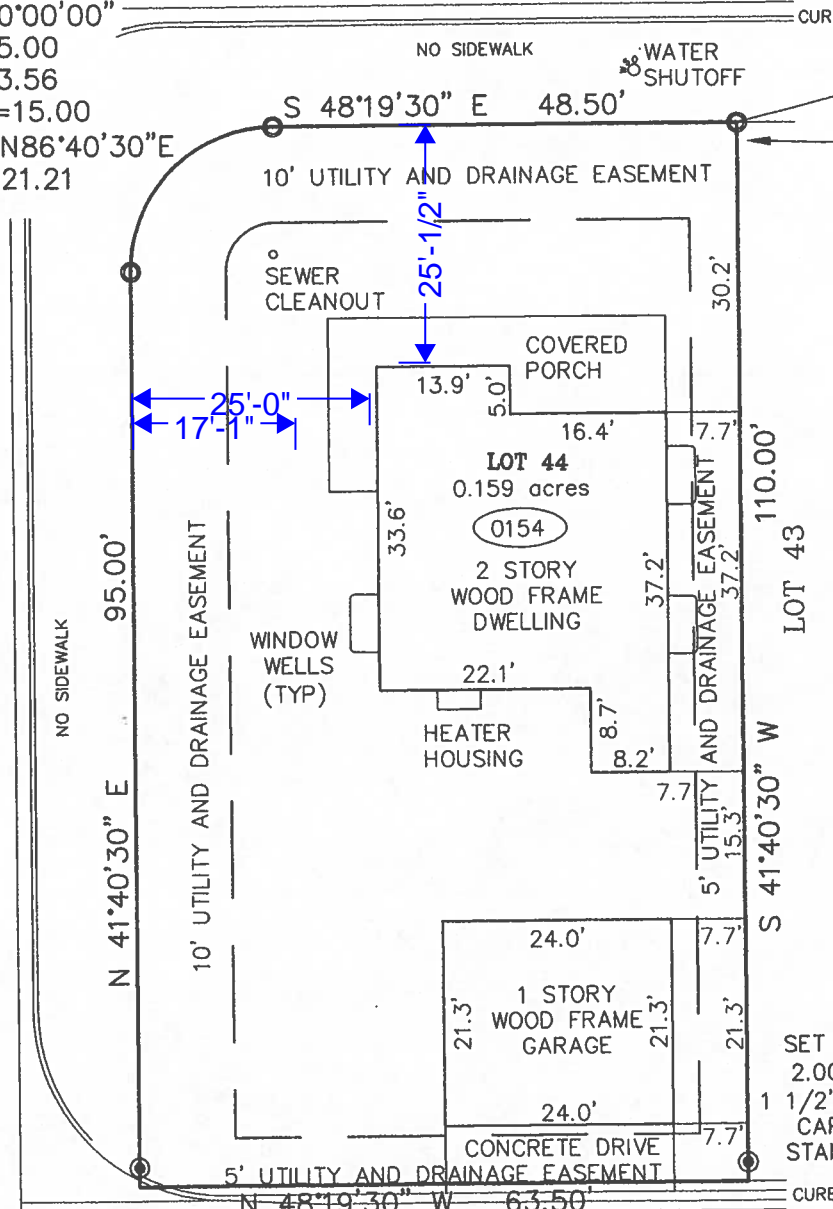
PLS 22589

PLS 22589

$\Delta=90^{\circ}00'00''$
R=15.00
L=23.56
Tan=15.00
CB=N86°40'30"E
CD=21.21

LONGVIEW AVE.
70' R-O-W

S 89°40'49" E
991.82' (tie)



SET SURVEY MONUMENT
1 1/2" DIAMETER ALUMINUM
CAP ON No. 5 REBAR
STAMPED LS No. 22589
(TYPICAL)

NOTES:

- 1) STREET ADDRESS: 0154 Longview Ave. (Posted)
- 2) The legal description, record easements and record deed lines are derived from the Final Plat of Eagle Ranch, Filing No. 18, as referenced hereon.
- 3) Improvement locations are based upon survey monuments found, as shown hereon.
- 4) Basis of Bearing: S 39°45'52" W between the found monuments marking the northeastern and southeastern boundary monuments for Eagle Ranch, Filing No. 18, as shown and described hereon.
- 5) Survey Date: January 03, 2006.

FOUND SURVEY MONUMENT
1 1/2" DIAMETER ALUMINUM
CAP ON REBAR
STAMPED LS No. 24325
(TYPICAL)

SET SURVEY MONUMENT
2.00' WITNESS CORNER
1 1/2" DIAMETER ALUMINUM
CAP ON No. 5 REBAR
STAMPED LS No. 22589

05844/05844ISP Jan. 06, 2006 MS

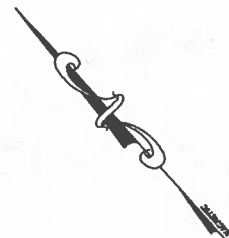
MARCIN ENGINEERING LLC

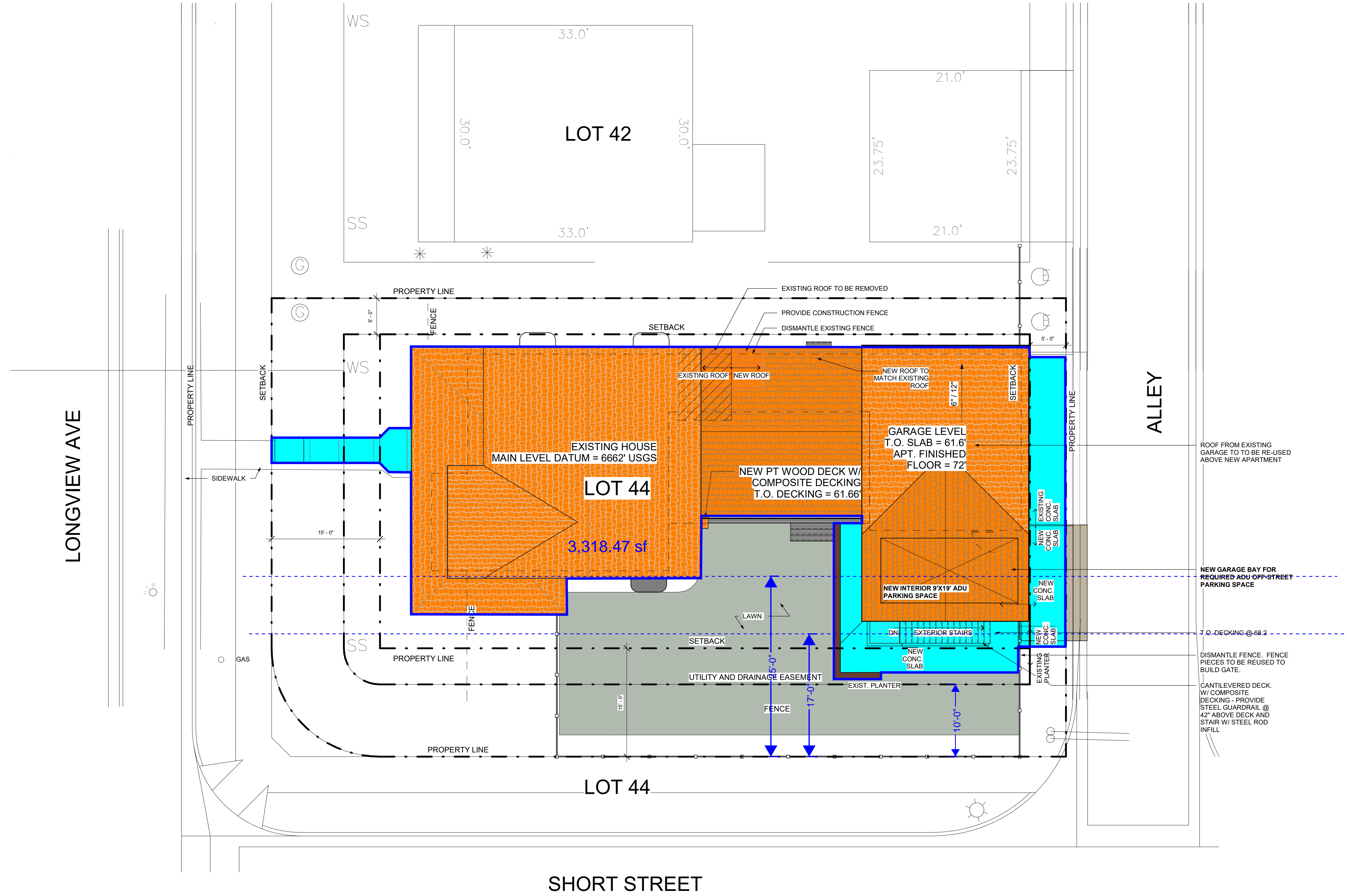
P.O. Box 1062
AVON, CO 81620
(970) 748-0274
(970) 748-9021 FAX

P.O. Box 5018
EAGLE, CO 81631
(970) 328-1900
(970) 328-1901 FAX

NOTICE: According to Colorado law you MUST commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

SCALE 1" = 20'



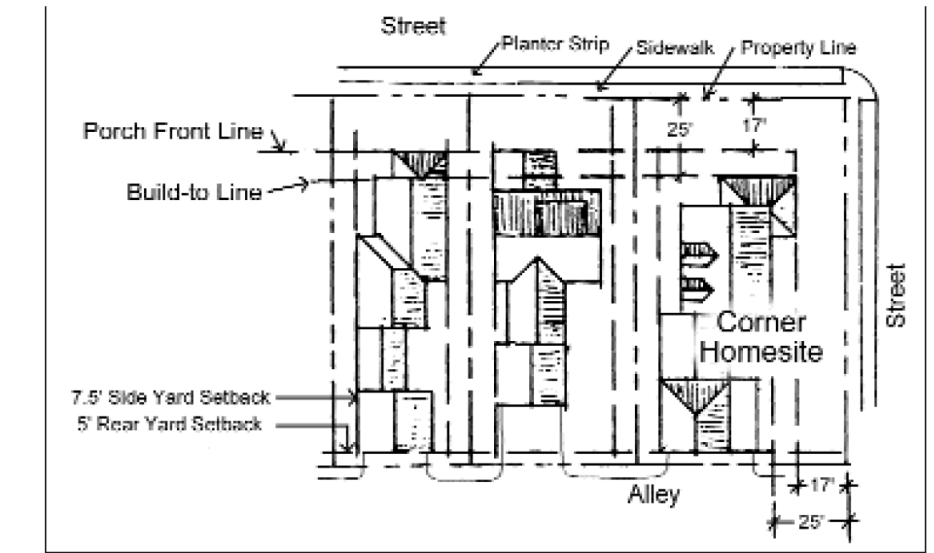


① SITE PLAN
1/8" = 1'-0"

From the Neighborhood Center Design Guidelines:

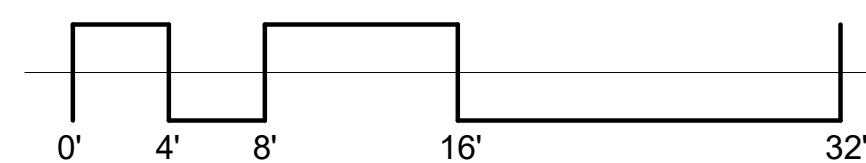
- The minimum setback for the house and garage from the side property lines is 7.5' (except as provided for side street setback for corner homesites).
- The minimum side street setback is 25' from the side property line, except for side porches which may not be placed nearer than 17 feet (including eaves) from the side property line

Setback Zone, Build-to and Porch Front Lines



AREA CALCS	
LOT SIZE .159	= 6,926 SF
ALLOWED SITE COVERAGE	= 2,770 SF (40% OF LOT)
PROPOSED SITE COVERAGE	= 2,764 SF
REMAINING SITE COVERAGE	= 6 SF
ALLOWABLE IMPERVIOUS COVERAGE	= 4,155 SF (60% OF LOT)
PROPOSED IMPERVIOUS COVERAGE	= 3,266 SF
REMAINING IMPERVIOUS COVERAGE	= 889 SF

SETBACKS	
FRONT YARD SET BACK	= 15'
SIDE YARD SETBACK	= 5'
REAR YARD SETBACK	= 5'



DRC REVIEW SET
Issue Date: 2024-10-29

SHEET TITLE
SITE PLAN

SHEET NO.

A2.0

NAGLE RESIDENCE REMODEL

154 LONGVIEW AVE., LOT 44
EAGLE, CO 81631

DRC REVIEW SET
Issue Date: 2024-10-29

SHEET TITLE:
MAIN LEVEL FLOOR PLAN

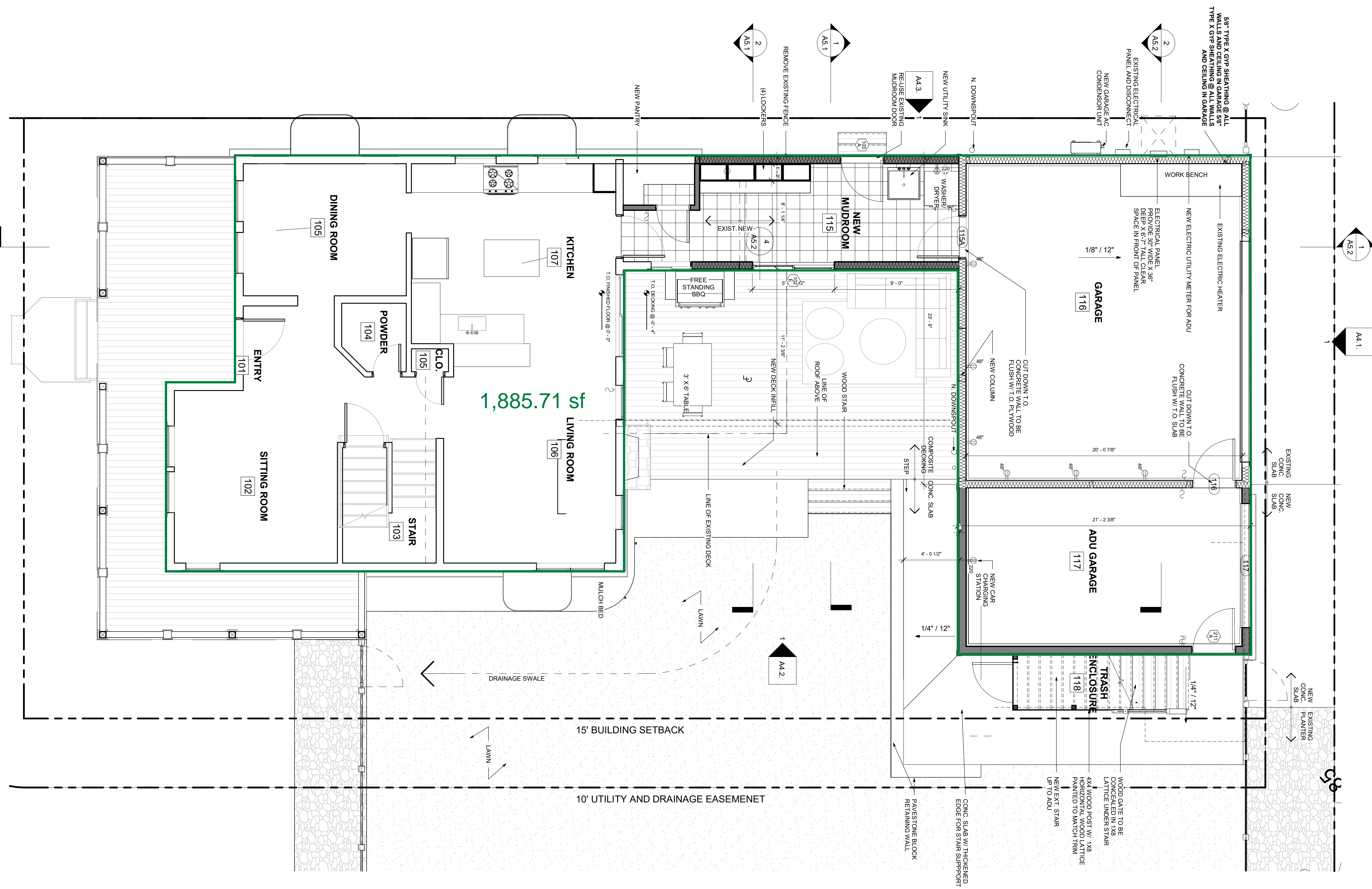
SHEET NO.
A3.1.

© 2020 BKW ARCHITECTS LLC.

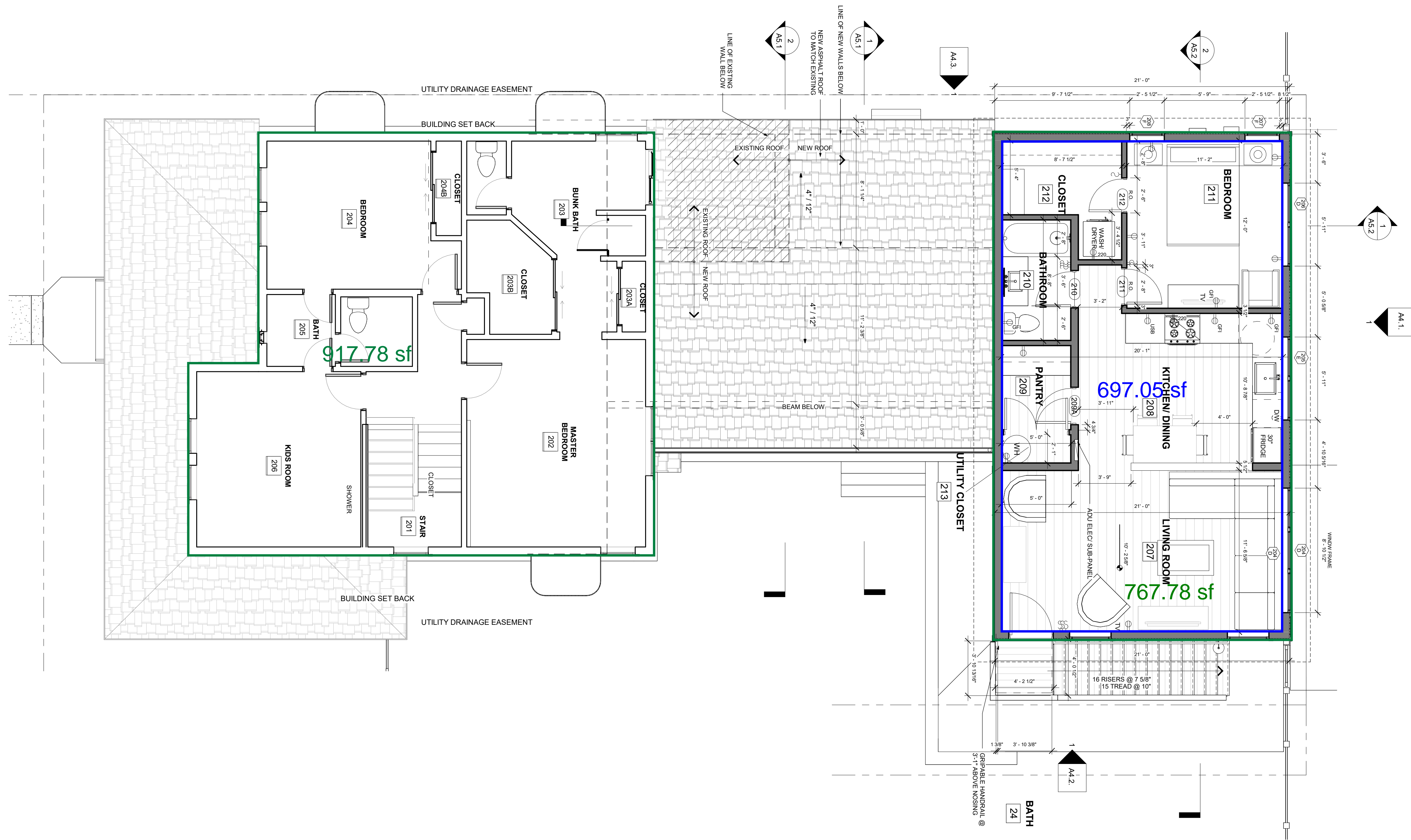
Interior Door Schedule						
Door Number	Door Leaf Dimensions		Description	Comments	Count	
	Width	Height				
115	2' - 4"	6' - 8"	BY OWNER	NEW PANTRY DOOR	1	
116	3' - 0"	6' - 8"	BY OWNER	ADU GARAGE ACCESS DOOR	1	
117	9' - 0"	8' - 0"		GARAGE DOOR	1	
118	4' - 6"	8' - 0"		TWO PANEL WOOD DOUBLE DOOR	1	
209A	2' - 6"	6' - 8"	BY OWNER	ADU PANTRY DOOR	1	
210	2' - 6"	6' - 8"	BY OWNER	BATHROOM DOOR	1	
211	2' - 6"	6' - 8"	BY OWNER	BEDROOM DOOR	1	
212	2' - 4"	6' - 8"	BY OWNER	CLOSET DOOR AT NEW BEDROOM	1	

- FLOOR PLAN GENERAL NOTES:**
- ALL NEW CONSTRUCTION TO MATCH EXISTING UNLESS NOTED OTHERWISE
 - SLOPE EXTERIOR SLABS AND PATIOS MIN. 1/4" - 12" TO DRAIN. ADJUST SLOPES AS REQUIRED AND AS SHOWN IN PLANS.
 - SLOPE PERVIOUS GRADE @ MIN. 10% FOR 10' FROM BUILDING PER SOILS REPORT.
 - ALL DIMENSIONS ARE TO FACE OF STUD AT NEW CONSTRUCTION AND TO FACE OF FINISH AT EXISTING CONDITIONS. UNLESS NOTED OTHERWISE.
 - ALL FURNITURE AND DECORATIVE LIGHT FIXTURES TO BE PROVIDED BY OWNER. VERIFY ALL WINDOW R.O. WITH WINDOW SHOP DRAWINGS PRIOR TO FRAMING.
 - WINDOW DIMENSION ARE TO WINDOW FRAME. PROVIDE ADDITIONAL 3/8" EACH SIDE FOR WINDOW R.O.
 - ONLY NEW WINDOWS AND DOOR ARE INDICATED W/ WINDOW TAGS
 - ALL FIXED FINISHES INCLUDING BUT NOT LIMITED TO CABINETS, PLUMBING, HARDWARE, FIREPLACE SURROUNDS, BUILT-INS, APPLIANCES, TILE AND FLOORING ARE DESIGNED/SPECIFIED BY OWNER. ALL FIXED FINISH LOCATIONS/TYPES SHOWN IN ARCHITECTURAL DRAWINGS SHALL BE VERIFIED WITH OWNER.

1/4" = 1'-0"
MAIN LEVEL FLOOR PLAN



1/4" = 1'-0"
UPPER LEVEL FLOOR PLAN



WINDOW SCHEDULE					
TYPE MARK	FRAME SIZE		MODEL	COMMENTS	COUNT
	WIDTH	HEIGHT			
102					
E	5' - 11 1/2"	7' - 11 1/2"	100 Series 2 panel slider		1
103					
A	3' - 0"	6' - 8 1/2"	MAN DOOR		1
105					
D	2' - 11 1/2"	5' - 11 1/2"	100-Series Single Hung		1
106					
F	3' - 0"	7' - 11 1/2"	PATIO DOOR BY OWNER BY OWNER		1
107					
D	2' - 11 1/2"	5' - 11 1/2"	100-Series Single Hung		1
204					
D	2' - 11 1/2"	5' - 11 1/2"	100-Series Single Hung		3
205					
E	2' - 11 1/2"	4' - 5 1/2"	100-Series Single Hung		2
206					
D	2' - 11 1/2"	5' - 11 1/2"	100-Series Single Hung		2
207					
F	2' - 5 1/2"	5' - 11 1/2"	100-Series Single Hung		1
208					
F	2' - 5 1/2"	5' - 11 1/2"	100-Series Single Hung		1
211					
A	3' - 0"	6' - 8 1/2"	MAN DOOR	REUSE EXISTING MUDROOM DOOR	1
Grand total: 15					

Interior Door Schedule					
Door Number	Door Leaf Dimensions		Description	Comments	Count
	Width	Height			
115	2' - 4"	6' - 8"	BY OWNER	NEW PANTRY DOOR	1
116	3' - 0"	6' - 8"	BY OWNER	ADU GARAGE ACCESS DOOR	1
117	9' - 0"	8' - 0"		GARAGE DOOR	1
118	4' - 6"	8' - 0"		TWO PANEL WOOD DOUBLE DOOR	1
209A	2' - 6"	6' - 8"	BY OWNER	ADU PANTRY DOOR	1
210	2' - 6"	6' - 8"	BY OWNER	BATHROOM DOOR	1
211	2' - 6"	6' - 8"	BY OWNER	BEDROOM DOOR	1
212	2' - 4"	6' - 8"	BY OWNER	CLOSET DOOR AT NEW BEDROOM	1

- FLOOR PLAN GENERAL NOTES:**
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NAGLE RESIDENCE REMODEL

154 LONGVIEW AVE., LOT 44
EAGLE, CO 81631

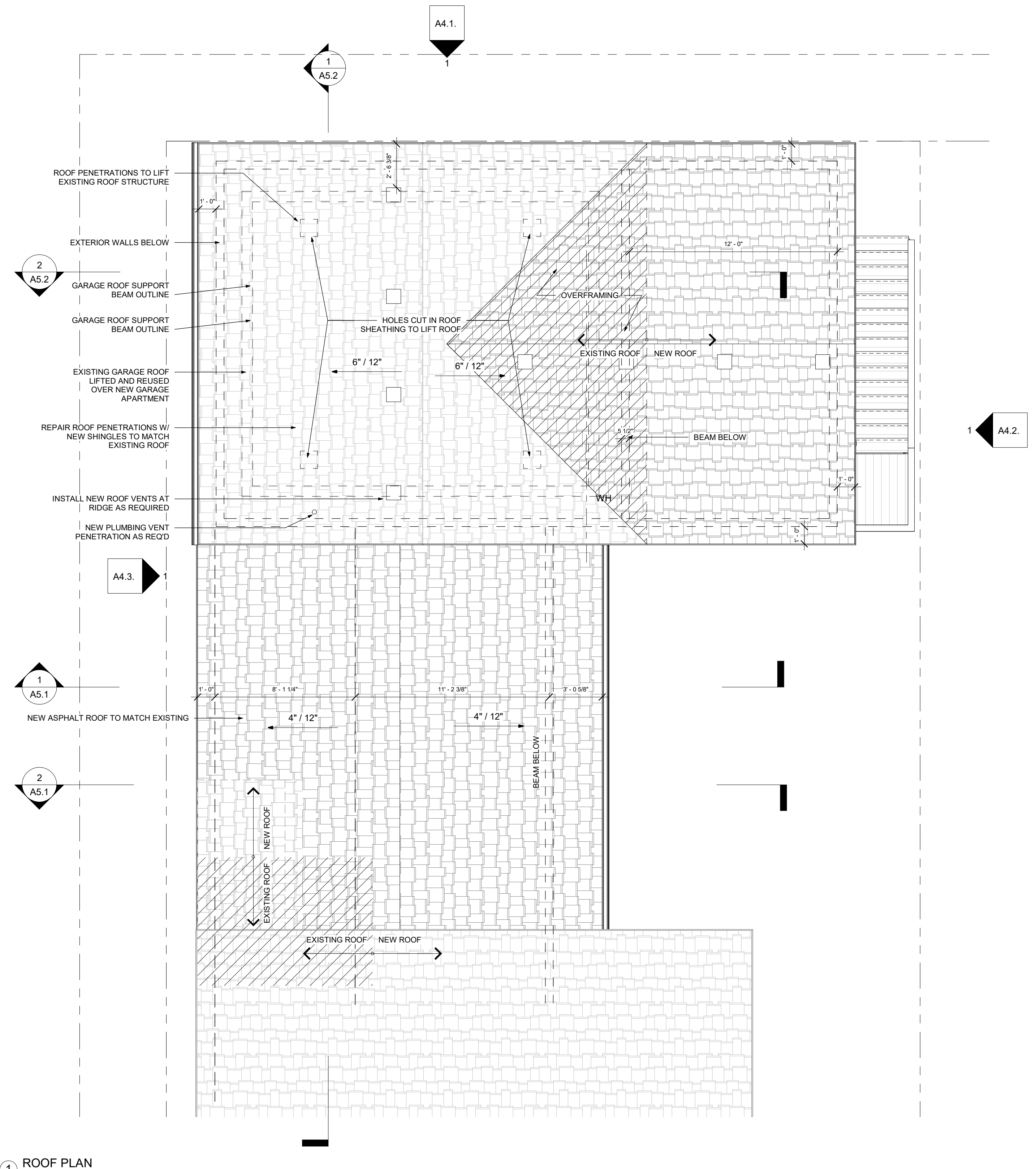
DRC REVIEW SET
Issue Date: 2024-10-29

SHEET TITLE
UPPER LEVEL FLOOR PLAN

SHEET NO.
A3.2.

NAGLE RESIDENCE REMODEL

154 LONGVIEW AVE, LOT 44
EAGLE, CO 81631



1 ROOF PLAN
1/4" = 1'-0"

DRC REVIEW SET

Issue Date 2024-10-29

SHEET TITLE

ROOF PLAN

SHEET NO.

A3.3

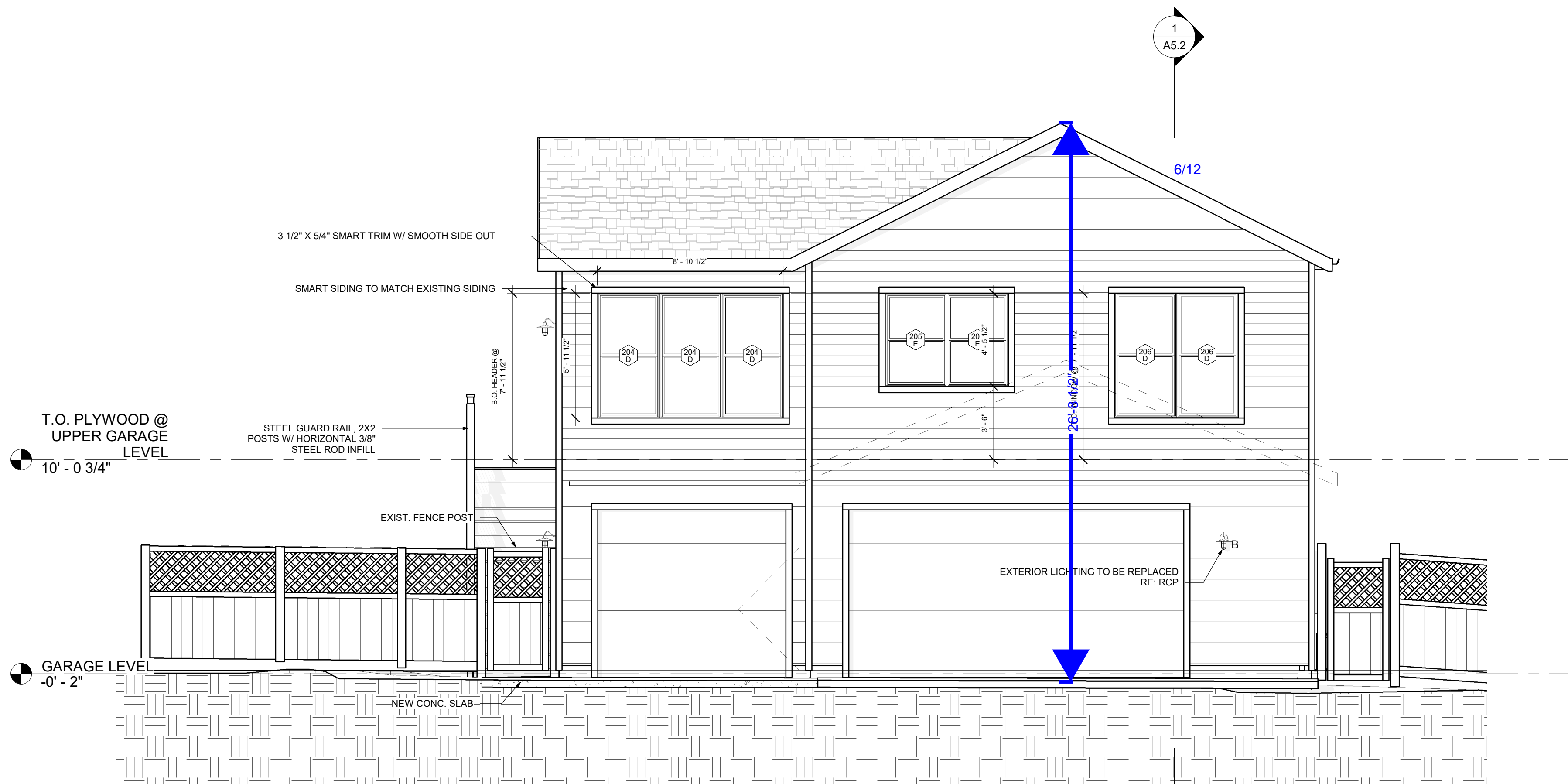
- ELEVATION GENERAL NOTES**
1. PAINT ADD TO MATCH TO MATCH EXISTING APPROVED COLOR SCHEME. RE: COLOR SHEET FOR COLOR INFORMATION
 2. (7) NEW NIGHT SKY COMPLIANT OUTDOOR WALL SCONCES. RE: LIGHTING SPEC AND LIGHTING CALCULATION SHEET
 3. ALL CONSTRUCTION DETAILS TO MATCH EXISTING UNLESS NOTED OTHERWISE
 4. WINDOW DIMENSION ARE TO TOP OF WINDOW FRAME. PROVIDE ADDITIONAL 3/4" ABOVE WINDOW TO B.O. HEADER FOR WINDOW R.O.A. ONLY NEW WINDOWS ARE INDICATED ON ELEVATIONS W/ WINDOW TAGS
 5. PROVIDE GALV. FLASHING AT ALL INTERSECTIONS @ ROOFS AND DECKS
 6. PROVIDE GALV. FLASHING AT T.O. WINDOW HEADERS
 7. PROPERLY FLASH ALL WINDOW OPENINGS PER WINDOW MANUFACTURE RECOMMENDATIONS W/ SELF-ADHERED WINDOW FLASHING



3 South Alley View



2 EAST ELEVATION.
1/4" = 1'-0"



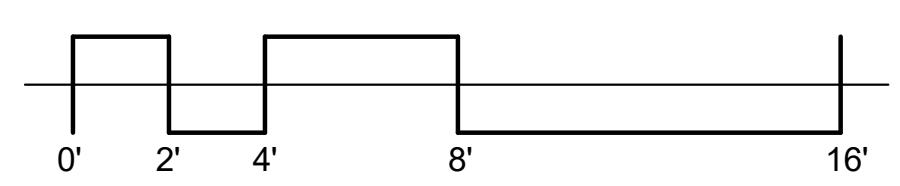
1 WEST ELEVATION.
1/4" = 1'-0"

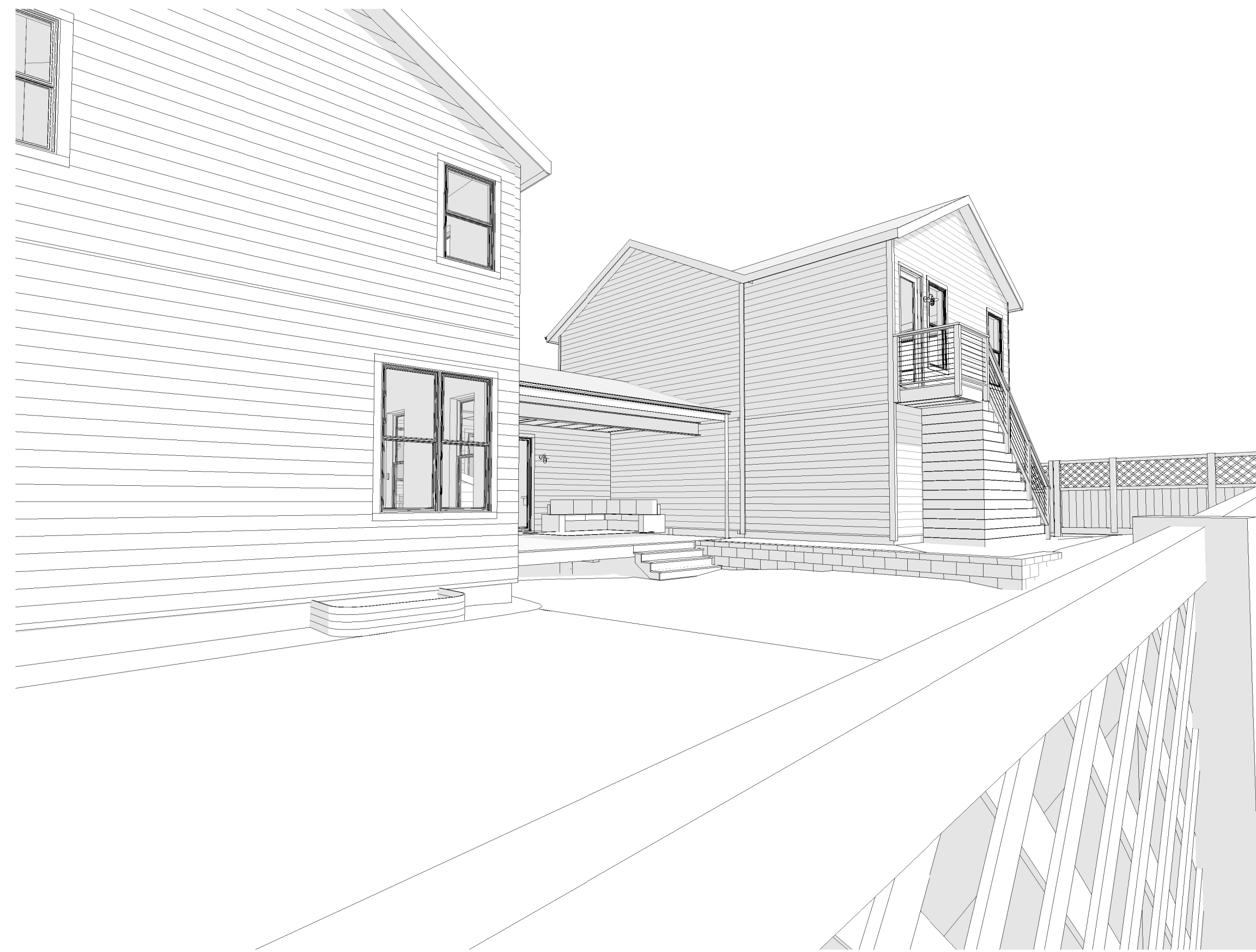
Lighting Fixture Schedule

Type Mark	Type	Manufacturer	Model	Type Comments	Count
A	RECESSED CAN LIGHT	HALO	A-19 H750RICAT	6" CAN LIGHT W/ 13W RETROFIT LED 2700K LIGHT MODULE 830 LUMENS	26
B	EXTERIOR SCONCE	WAC	WS-W15708-BZ	DARK SKRY COMPLIANT 9W LED MODULE 750 LUMENS	7
H	Prudential Lighting	PRULITE	S1-LED27-SO-4-SAL-TMW -UNV-SUR-X3-ND-	SURFACE MOUNTED LED STRIP CLOSET LIGHT	10
J				CEILING FAN BY OWNER	2

WINDOW SCHEDULE

TYPE MARK	FRAME SIZE		MODEL	COMMENTS	COUNT
	WIDTH	HEIGHT			
102					
E	5' - 11 1/2"	7' - 11 1/2"	100 Series 2 panel slider		1
103					
A	3' - 0"	6' - 8 1/2"	MAN DOOR		1
105					
D	2' - 11 1/2"	5' - 11 1/2"	100-Series Single Hung		1
106					
F	3' - 0"	7' - 11 1/2"	PATIO DOOR BY OWNER BY OWNER		1
107					
D	2' - 11 1/2"	5' - 11 1/2"	100-Series Single Hung		1
204					
D	2' - 11 1/2"	5' - 11 1/2"	100-Series Single Hung		3
205					
E	2' - 11 1/2"	4' - 5 1/2"	100-Series Single Hung		2
206					
D	2' - 11 1/2"	5' - 11 1/2"	100-Series Single Hung		2
207					
F	2' - 5 1/2"	5' - 11 1/2"	100-Series Single Hung		1
208					
F	2' - 5 1/2"	5' - 11 1/2"	100-Series Single Hung		1
211					
A	3' - 0"	6' - 8 1/2"	MAN DOOR	REUSE EXISTING MUDROOM DOOR	1
Grand total: 15					





2 SHORT STREET VIEW

WINDOW SCHEDULE					
TYPE MARK	FRAME SIZE		MODEL	COMMENTS	COUNT
	WIDTH	HEIGHT			
102	5' - 11 1/2"	7' - 11 1/2"	100 Series 2 panel slider		1
103	3' - 0"	6' - 8 1/2"	MAN DOOR		1
105	2' - 11 1/2"	5' - 11 1/2"	100-Series Single Hung		1
106	3' - 0"	7' - 11 1/2"	PATIO DOOR BY OWNER BY OWNER		1
107	2' - 11 1/2"	5' - 11 1/2"	100-Series Single Hung		1
204	2' - 11 1/2"	5' - 11 1/2"	100-Series Single Hung		3
205	2' - 11 1/2"	4' - 5 1/2"	100-Series Single Hung		2
206	2' - 11 1/2"	5' - 11 1/2"	100-Series Single Hung		2
207	2' - 5 1/2"	5' - 11 1/2"	100-Series Single Hung		1
208	2' - 5 1/2"	5' - 11 1/2"	100-Series Single Hung		1
211	3' - 0"	6' - 8 1/2"	MAN DOOR	REUSE EXISTING MUDROOM DOOR	1
Grand total: 15					

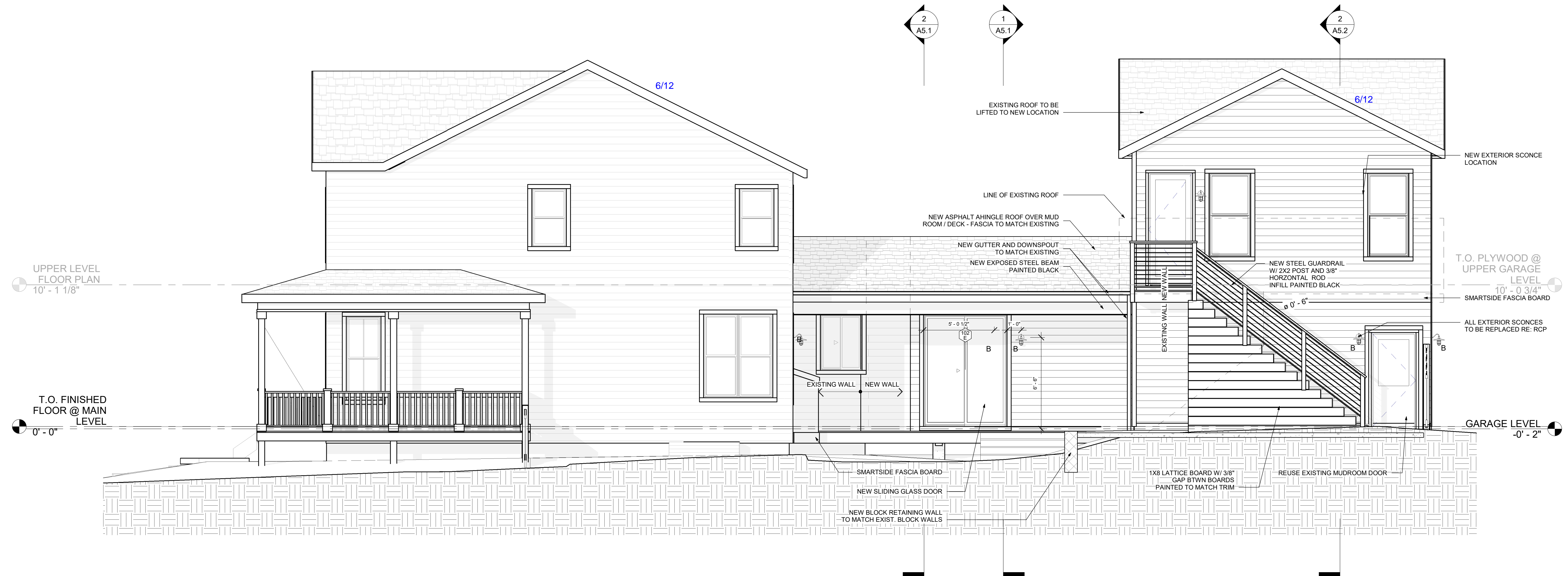
Lighting Fixture Schedule					
Type Mark	Type	Manufacturer	Model	Type Comments	Count
A	RECESSED CAN LIGHT	HALO	A-19 H750RICAT	6" CAN LIGHT W/ 13W RETROFIT LED 2700K LIGHT MODULE 830 LUMENS	26
B	EXTERIOR SCONCE	WAC	WS-W15708-BZ	DARK SKRY COMPLIANT 9W LED MODULE 750 LUMENS	7
H	Prudential Lighting	PRULITE	S1-LED27-SO-4-SAL-TMW -UNV-SUR-X3-ND-	SURFACE MOUNTED LED STRIP CLOSET LIGHT	10
J				CEILING FAN BY OWNER	2

- ELEVATION GENERAL NOTES**
- PAINT ADU TO MATCH TO MATCH EXISTING APPROVED COLOR SCHEME. RE: COLOR SHEET FOR COLOR INFORMATION
 - (7) NEW NIGHT SKY COMPLIANT OUTDOOR WALL SCONCES. RE: LIGHTING SPEC AND LIGHTING CALCULATION SHEET
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 - WINDOW DIMENSION ARE TO TOP OF WINDOW FRAME. PROVIDE ADDITIONAL 3/4" ABOVE WINDOW TO B.O. HEADER FOR WINDOW R.O. ONLY NEW WINDOWS ARE INDICATED ON ELEVATIONS W/ WINDOW TAGS
 - PROVIDE GALV. FLASHING AT ALL INTERSECTIONS @ ROOFS AND DECKS
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NAGLE RESIDENCE REMODEL

154 LONGVIEW AVE., LOT 44
EAGLE, CO 81631



1 SOUTH ELEVATION.
1/4" = 1'-0"

UPPER LEVEL FLOOR PLAN
10' - 1 1/8"

T.O. FINISHED FLOOR @ MAIN LEVEL
0' - 0"

T.O. PLYWOOD @ UPPER GARAGE LEVEL
10' - 0 3/4"
SMARTSIDE FASCIA BOARD
ALL EXTERIOR SCONCES TO BE REPLACED RE: RCP

GARAGE LEVEL
-0' - 2"

DRC REVIEW SET

Issue Date 2024-10-29

SHEET TITLE
SOUTH WEST ELEVATION

SHEET NO.

A4.2.

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2 ALLEY NORTHWEST VIEW

WINDOW SCHEDULE					
TYPE MARK	FRAME SIZE		MODEL	COMMENTS	COUNT
	WIDTH	HEIGHT			
102					
E	5' - 11 1/2"	7' - 11 1/2"	100 Series 2 panel slider		1
103					
A	3' - 0"	6' - 8 1/2"	MAN DOOR		1
105					
D	2' - 11 1/2"	5' - 11 1/2"	100-Series Single Hung		1
106					
F	3' - 0"	7' - 11 1/2"	PATIO DOOR BY OWNER BY OWNER		1
107					
D	2' - 11 1/2"	5' - 11 1/2"	100-Series Single Hung		1
204					
D	2' - 11 1/2"	5' - 11 1/2"	100-Series Single Hung		3
205					
E	2' - 11 1/2"	4' - 5 1/2"	100-Series Single Hung		2
206					
D	2' - 11 1/2"	5' - 11 1/2"	100-Series Single Hung		2
207					
F	2' - 5 1/2"	5' - 11 1/2"	100-Series Single Hung		1
208					
F	2' - 5 1/2"	5' - 11 1/2"	100-Series Single Hung		1
211					
A	3' - 0"	6' - 8 1/2"	MAN DOOR	REUSE EXISTING MUDROOM DOOR	1
Grand total: 15					

Lighting Fixture Schedule					
Type Mark	Type	Manufacturer	Model	Type Comments	Count
			A-19		2
A	RECESSED CAN LIGHT	HALO	H750RICAT	6" CAN LIGHT W/ 13W RETROFIT LED 2700K LIGHT MODULE 830 LUMENS	26
B	EXTERIOR SCONCE	WAC	WS-W15708-BZ	DARK SKRY COMPLIANT 9W LED MODULE 750 LUMENS	7
H	Prudential Lighting	PRULITE	S1-LED27-SO-4'-SAL-TMW -UNV-SUR-X3-ND-	SURFACE MOUNTED LED STRIP CLOSET LIGHT	10
J				CEILING FAN BY OWNER	2

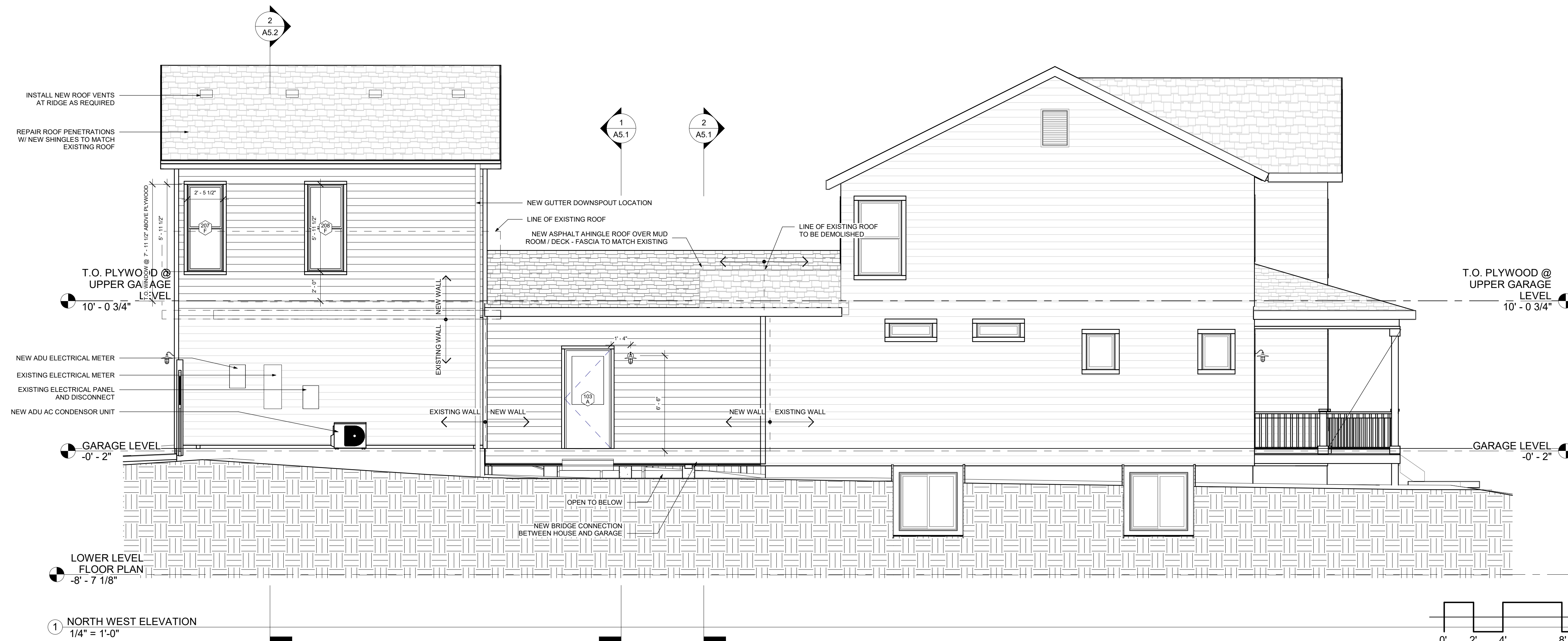
ELEVATION GENERAL NOTES

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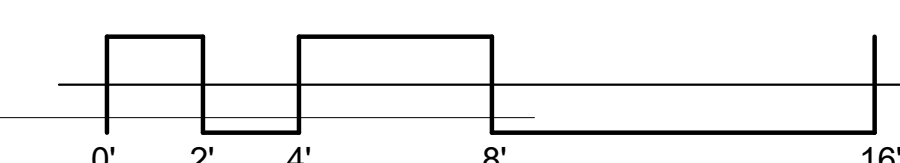


NAGLE RESIDENCE REMODEL

154 LONGVIEW AVE., LOT 44
EAGLE, CO 81631



1 NORTH WEST ELEVATION
1/4" = 1'-0"



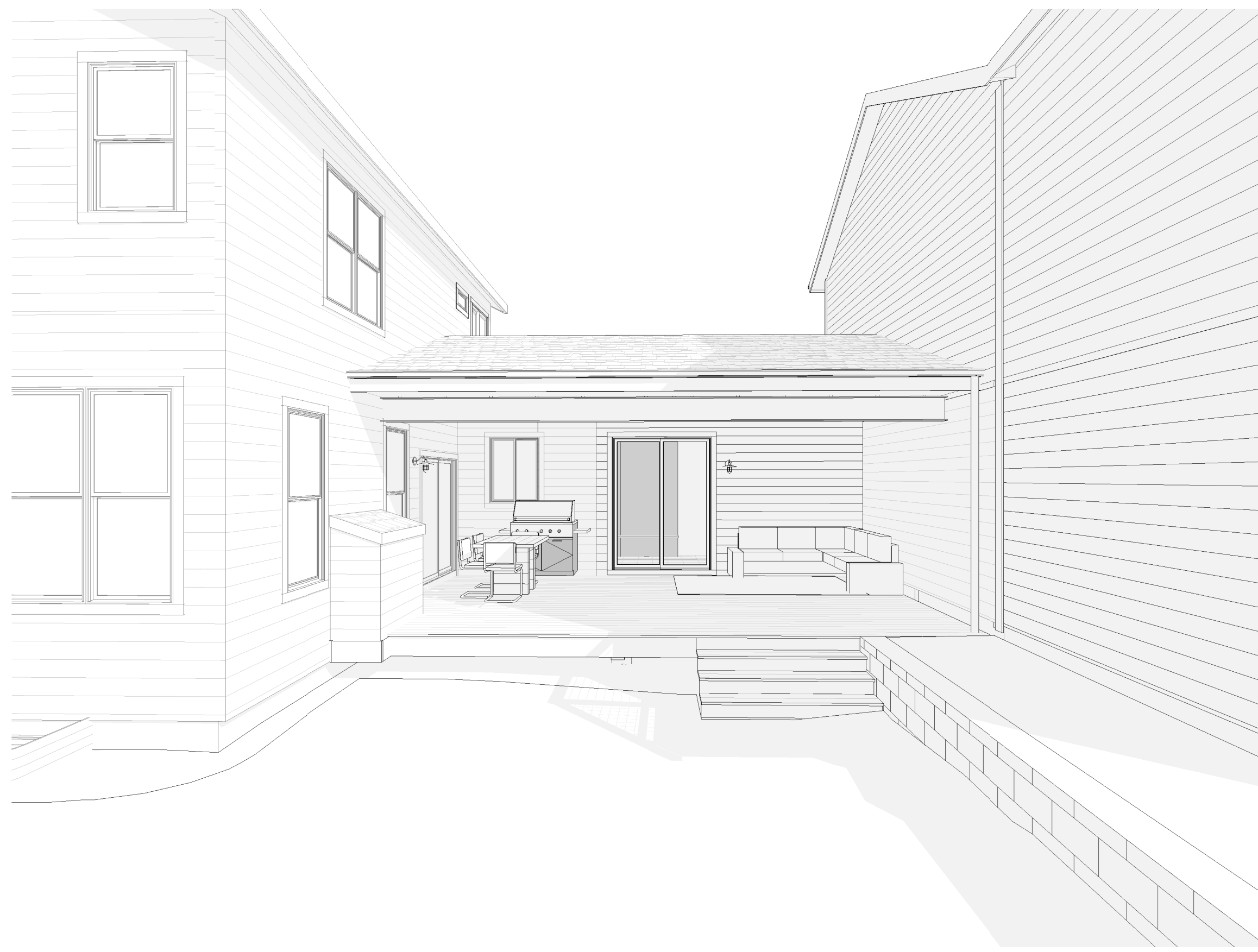
DRC REVIEW SET
Issue Date: 2024-10-29

SHEET TITLE
NORTHWEST ELEVATION

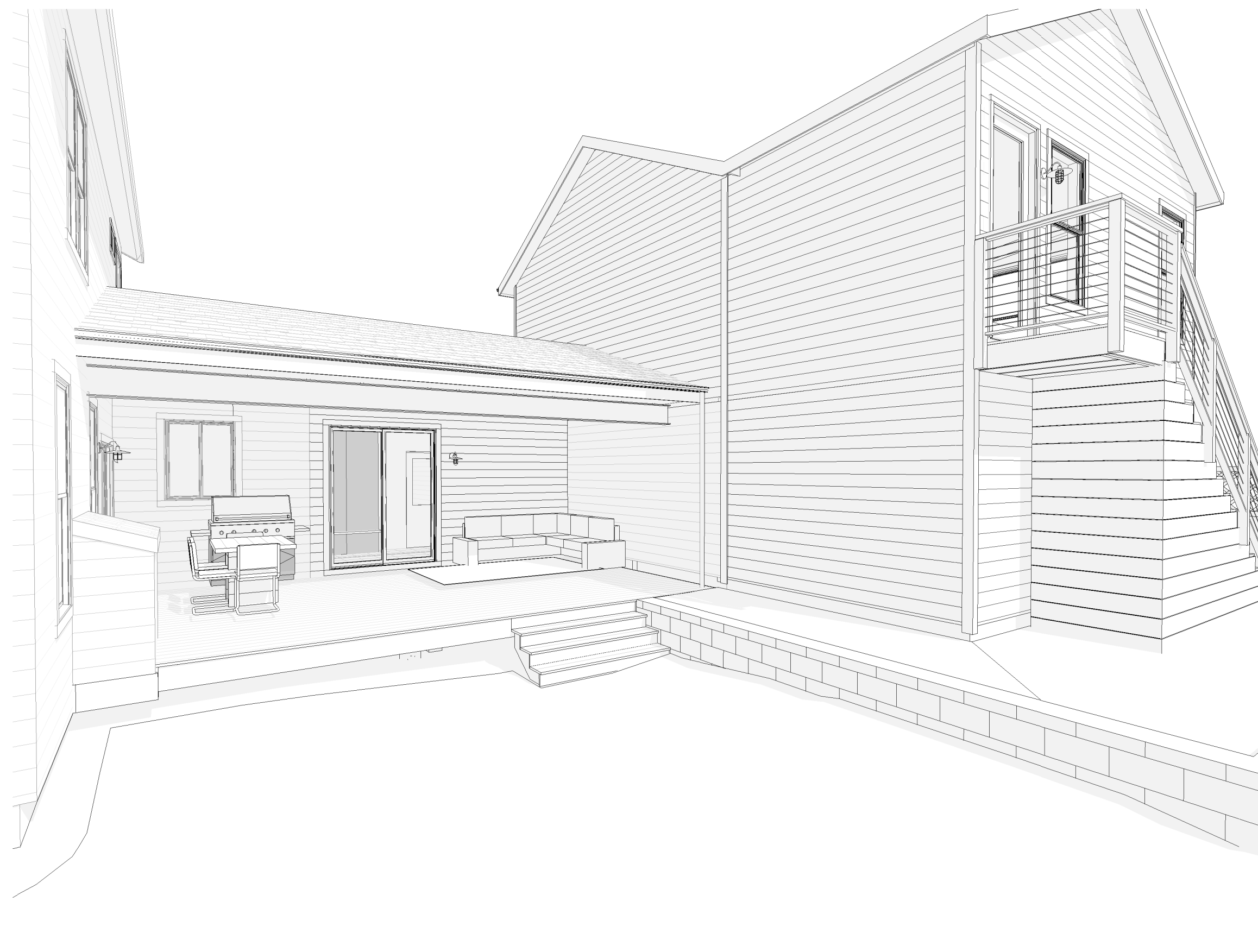
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A4.3.

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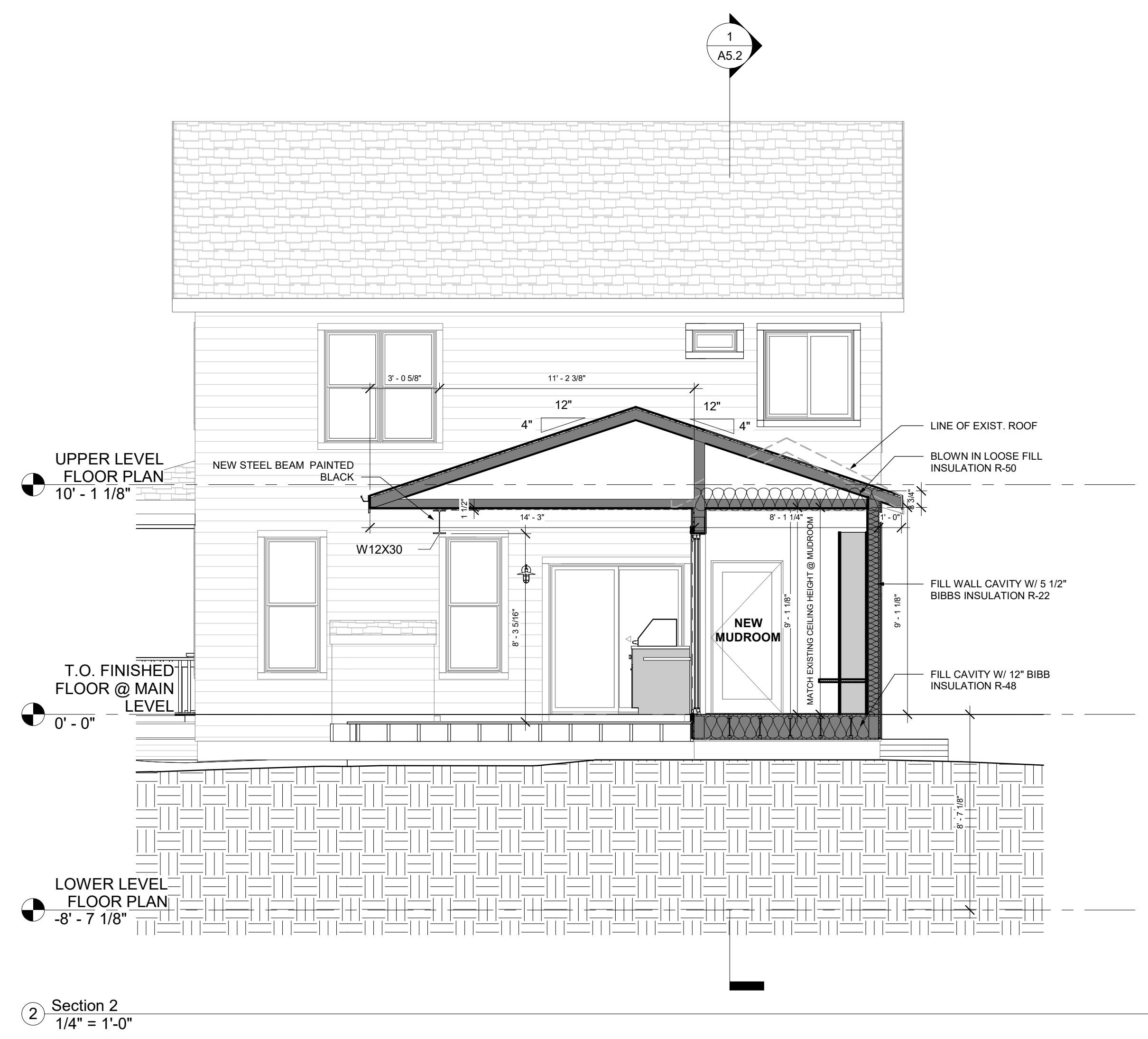
- ELEVATION GENERAL NOTES**
1. PAINT ADU TO MATCH TO MATCH EXISTING APPROVED COLOR SCHEME. RE: COLOR SHEET FOR COLOR INFORMATION
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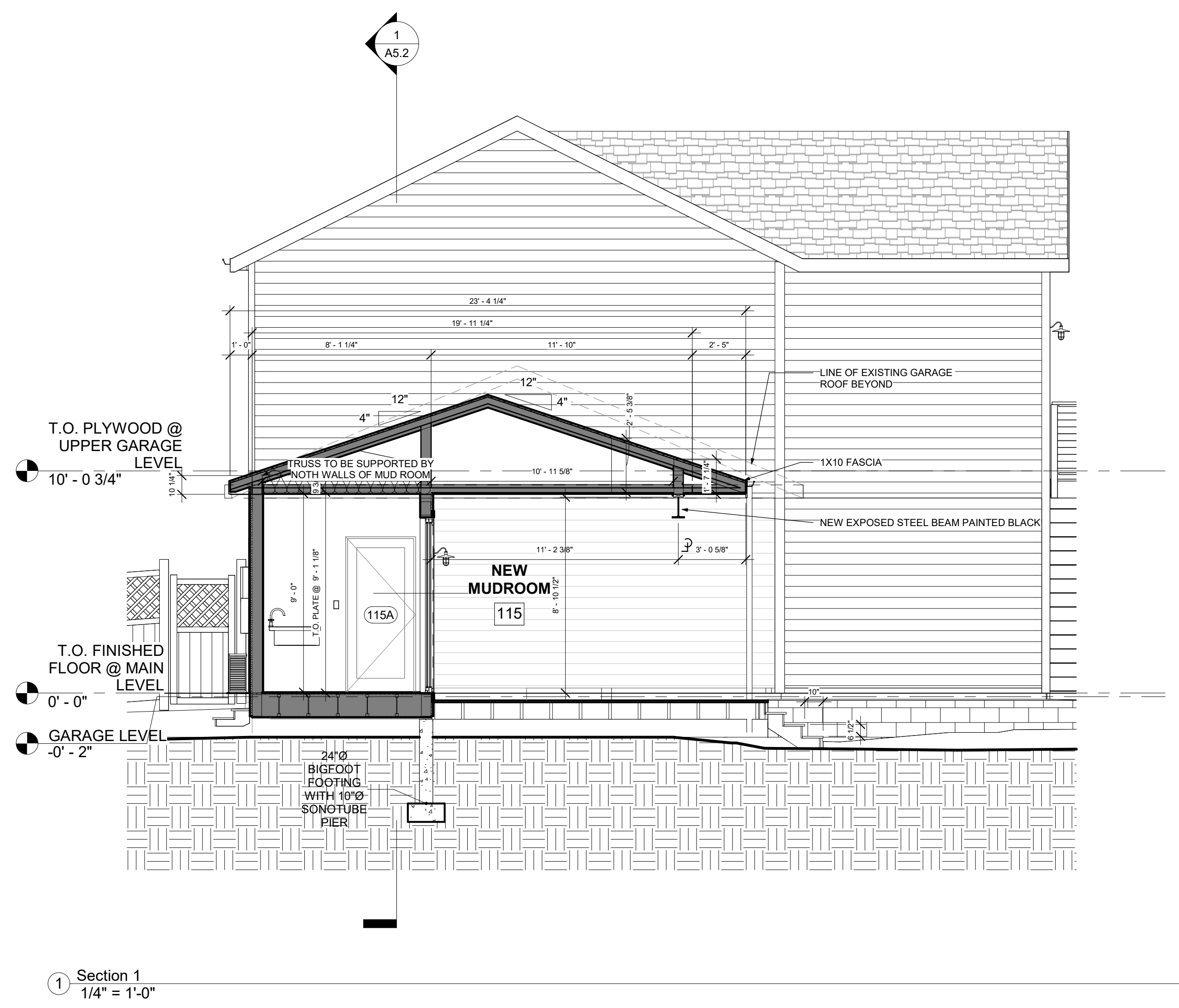
3 Patio View from side yard



4 SOUTHEAST VIEW OF ADU



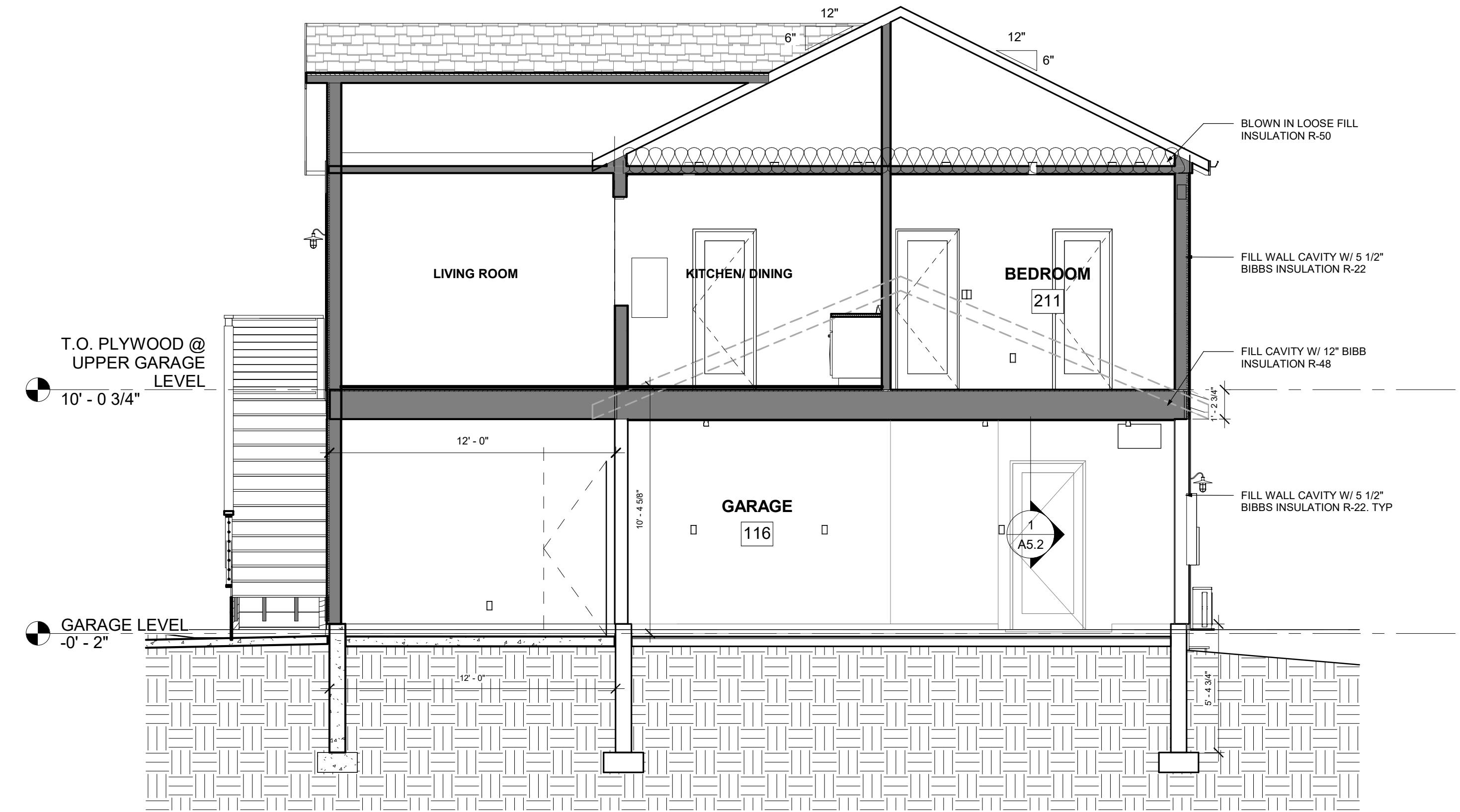
2 Section 2
1/4" = 1'-0"



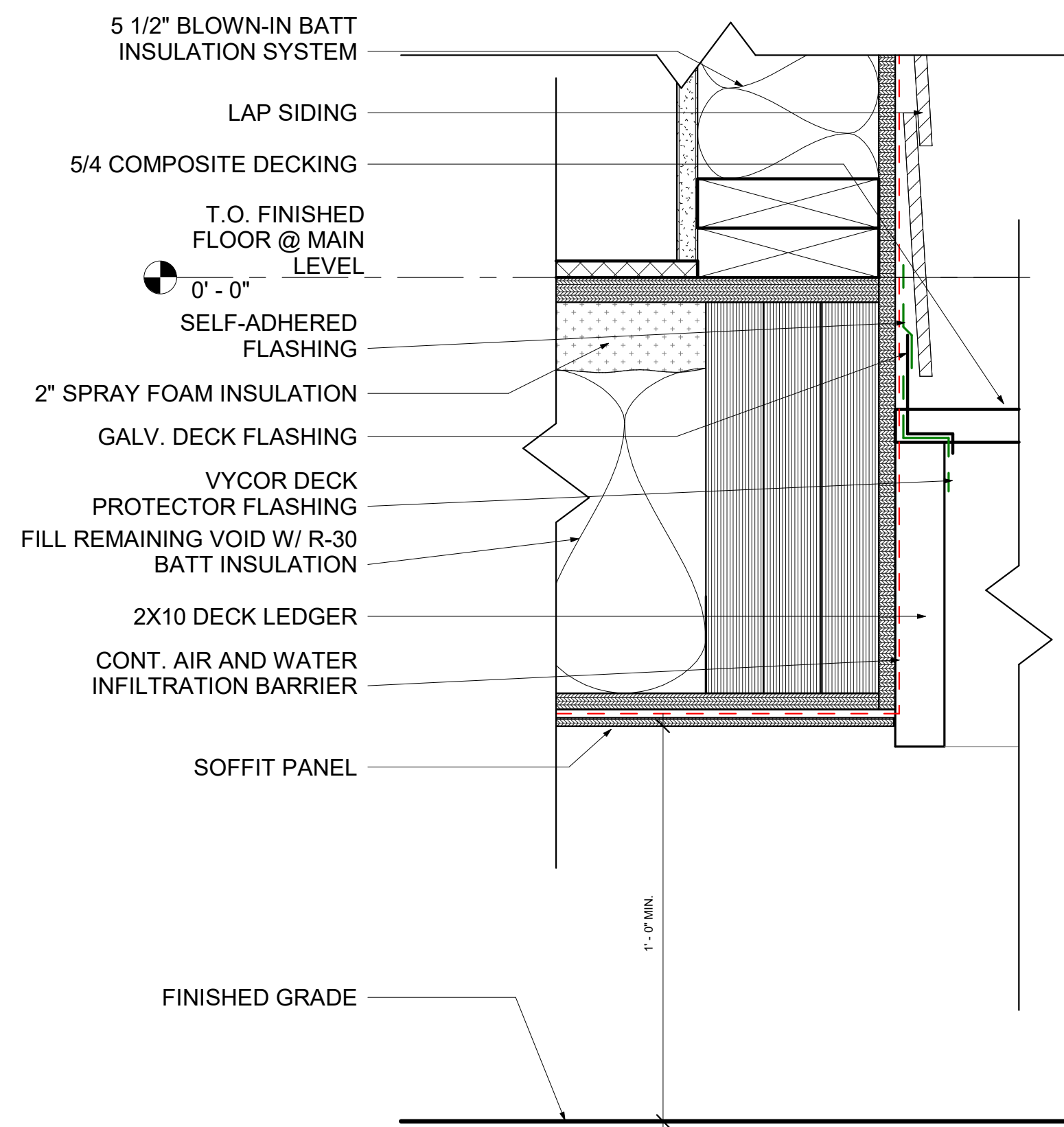
1 Section 1
1/4" = 1'-0"

NAGLE RESIDENCE REMODEL

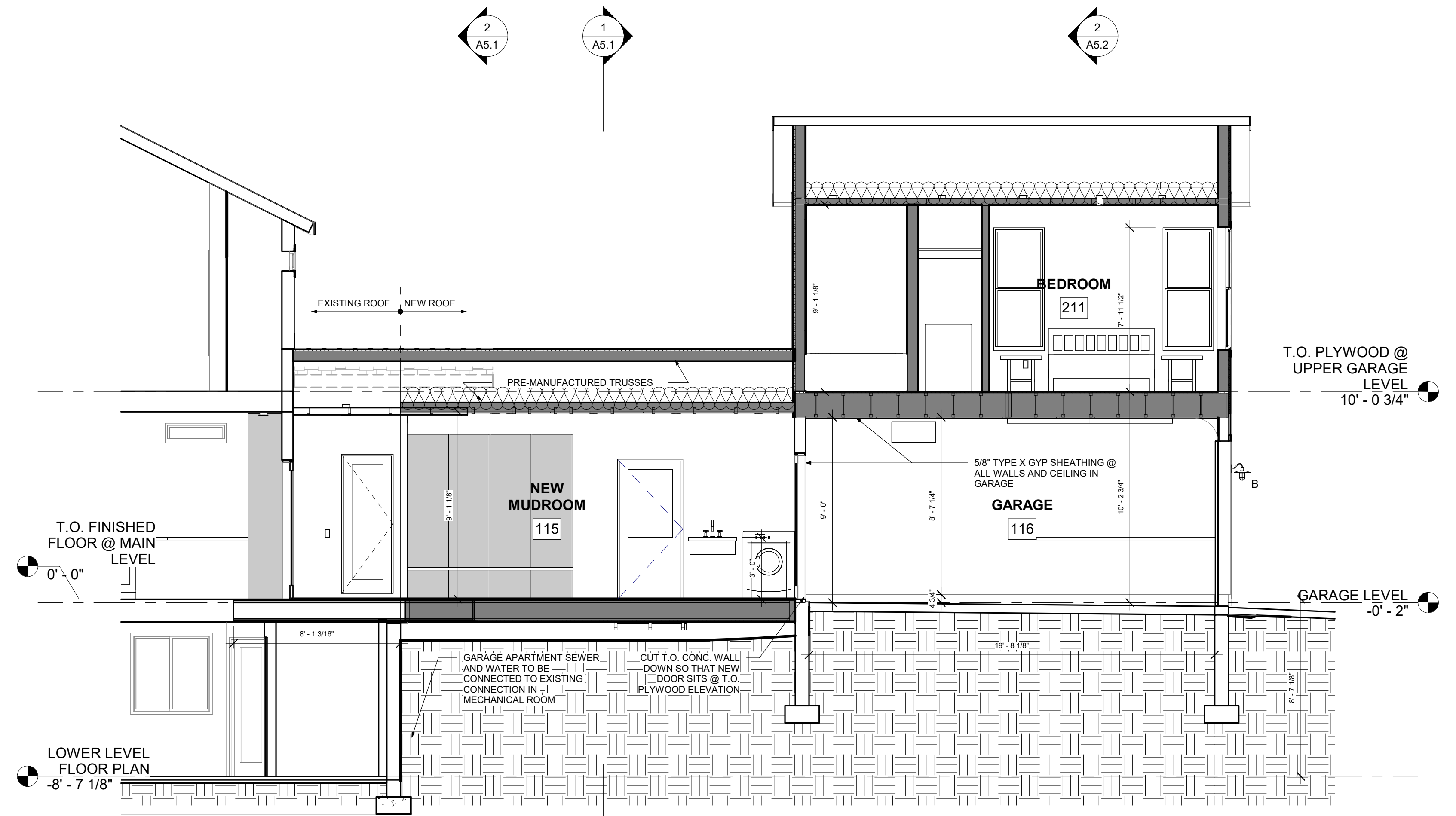
154 LONGVIEW AVE., LOT 44
EAGLE, CO 81631



Section 5
1/4" = 1'-0"



DECK LEDGER FLASHING DETAIL @
BRIDGE
3" = 1'-0"



Section 3
1/4" = 1'-0"

DRC REVIEW SET

Issue Date 2024-10-29

SHEET TITLE

BUILDING SECTIONS

SHEET NO.

A5.2

**GENERAL SPECIFICATIONS
FOUNDATION WALL ON FOOTINGS**

1. FOUNDATION

- FOUNDATION WAS DESIGNED WITH AN ASSUMED BEARING CAPACITY. AN OPEN HOLE INSPECTION IS REQUIRED PRIOR TO CONSTRUCTION. OPEN HOLE REPORT SHALL BE REVIEWED BY BLACK OAK ENGINEERING PRIOR TO CONSTRUCTION.
- FOUNDATION SHALL BE SUPPORTED BY CONTINUOUS CONCRETE FOOTINGS BEARING ON UNDISTURBED NATURAL SOIL.
 - MAXIMUM BEARING CAPACITY: 1000 PSF (ASSUMED).
 - LATERAL SOIL PRESSURE (EQUIVALENT FLUID PRESSURE): 55 PSF (ASSUMED).
- AN OPEN HOLE INSPECTION PRIOR TO SETTING FOOTING FORMS IS REQUIRED TO VERIFY THE BEARING MATERIAL. THIS INSPECTION SHALL BE PERFORMED BY THE SOIL ENGINEER.
- FOOTING AND WALL STEEL INSPECTIONS ARE REQUIRED. THESE INSPECTIONS SHALL BE PERFORMED BY BLACK OAK ENGINEERING OR THE LOCAL BUILDING AUTHORITY.
- FLOOR SYSTEMS SHALL BE IN PLACE PRIOR TO BACKFILLING OR ADEQUATE BRACING OR SHORING SHALL BE PROVIDED.
- THE BACKFILL SHALL BE PLACED IN SMALL LIFTS AND COMPACTED ACCORDING TO THE RECOMMENDATIONS IN THE SOIL REPORT.
- ALL FOUNDATION WALLS SHALL BE A MINIMUM OF 6" ABOVE FINISHED GRADE. GRADE MUST SLOPE AWAY FROM THE FOUNDATION WALLS A MINIMUM OF 6" IN THE FIRST 5 FEET.
- WALL HEIGHTS VARY. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF STEP DOWNS. VERIFY ALL STEP DOWNS WITH BUILDER PRIOR TO CONSTRUCTION.
- IF WALL HEIGHTS EXCEED 12', UNFORESEEN CIRCUMSTANCES ARISE OR THE DESIGN SHOWN VARIES GREATLY FROM SITE CONDITIONS, NOTIFY BLACK OAK ENGINEERING FOR FURTHER CONSULTATION.
- ALL CONCRETE SHALL BE PLACED CONTINUOUSLY. NO HORIZONTAL COLD JOINTS ARE ALLOWED WITHOUT APPROVAL OF THE ENGINEER.
- A PERIMETER DRAIN SHALL BE INSTALLED PER THE RECOMMENDATIONS FOUND IN THE SOIL INVESTIGATION.
- PLATES, SILLS AND SLEEPERS SHALL BE TREATED WOOD ATTACHED WITH 1/2" DIAMETER X 10" LONG ANCHOR BOLTS (7" EMBED). ANCHORS SHALL BE SPACED AT 4'-0" ON CENTER MAXIMUM, 12" FROM ALL CORNERS, WITH A MINIMUM OF 2 BOLTS PER PLATE.
- ALL INTERIOR NON-BEARING PARTITIONS AT THE BASEMENT LEVEL SHALL BE INSTALLED AS A FLOATING WALL, UNLESS CONSTRUCTED OVER A STRUCTURAL FLOOR INDEPENDENT FROM THE SUBSURFACE. REFER TO SOIL INVESTIGATION OF FURTHER DETAILS.
- ALL DIMENSIONS ON THE STRUCTURAL DRAWING SHALL BE CROSS-CHECKED AGAINST THE ARCHITECTURAL DRAWINGS. ANY DISCREPANCY SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE BUILDER, ARCHITECT AND ENGINEER.
- INSTALL VAPOR BARRIER UNDER CRAWL SPACE AREAS.
- THIS FOUNDATION PLAN WAS DRAWN WITH THE DIMENSIONS SHOWN ON THE BASEMENT PLAN DATED 10-8-24, BY BKW ARCHITECTURE & DESIGN.

2. CONCRETE AND REINFORCING

- CONCRETE, CONCRETE PLACEMENT, REBAR FABRICATION, AND REBAR PLACEMENT SHALL CONFORM TO APPLICABLE PROVISIONS OF ACI-318, AND ACI332-08.
- ALL CONCRETE SHALL BE MADE WITH STONE AGGREGATE AND SHALL DEVELOP A 28-DAY MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
- ALL EXTERIOR FLATWORK AND GARAGE SLABS SHALL BE MADE WITH STONE AGGREGATE AND SHALL DEVELOP A 28-DAY MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI.
- CEMENT SHALL BE TYPE II.
- MAXIMUM SLUMP ALLOWED IS 5".
- MECHANICAL VIBRATION IS REQUIRED FOR FOOTINGS AND WALLS. NO LIFTS GREATER THAN 24" ARE ALLOWED.
- ALL CONCRETE SHALL BE PROTECTED FROM FREEZING FOR A MINIMUM OF 36 HOURS.
- DEFORMED BARS SHALL COMPLY WITH ASTM A615, GRADE 60. WELDED WIRE FABRIC SHALL COMPLY WITH ASTM A185.
- CONCRETE COVER FOR REINFORCING
 - CONCRETE CAST AGAINST THE EARTH: 3".
 - CONCRETE CAST AGAINST FORMS BUT EXPOSED TO EARTH: 1 1/2".
 - CONCRETE SLABS: 3/4".
- REINFORCING SHALL BE KEPT CLEAN AND FREE OF ALL DIRT, OIL, SCALE AND RUST. FORMS SHOULD BE OILED PRIOR TO PLACEMENT OF REINFORCEMENT STEEL TO PREVENT CONTAMINATION.
- LAP SPICES SHALL BE A MINIMUM OF 36 BAR DIAMETERS. ALL BARS SHALL BE CONTINUOUS AROUND ALL CORNERS AND ALL STEP DOWNS.
- ALL OPENINGS IN FOUNDATION WALLS SHALL BE REINFORCED WITH A MINIMUM OF TWO #5's. THIS REINFORCING SHALL EXTEND A MINIMUM OF 2'-6" BEYOND THE OPENING.
- ALL CONCRETE SLABS SHALL BE ISOLATED FROM THE FOUNDATION WALLS, STEEL COLUMNS AND UTILITY LINES.

3. STRUCTURAL STEEL

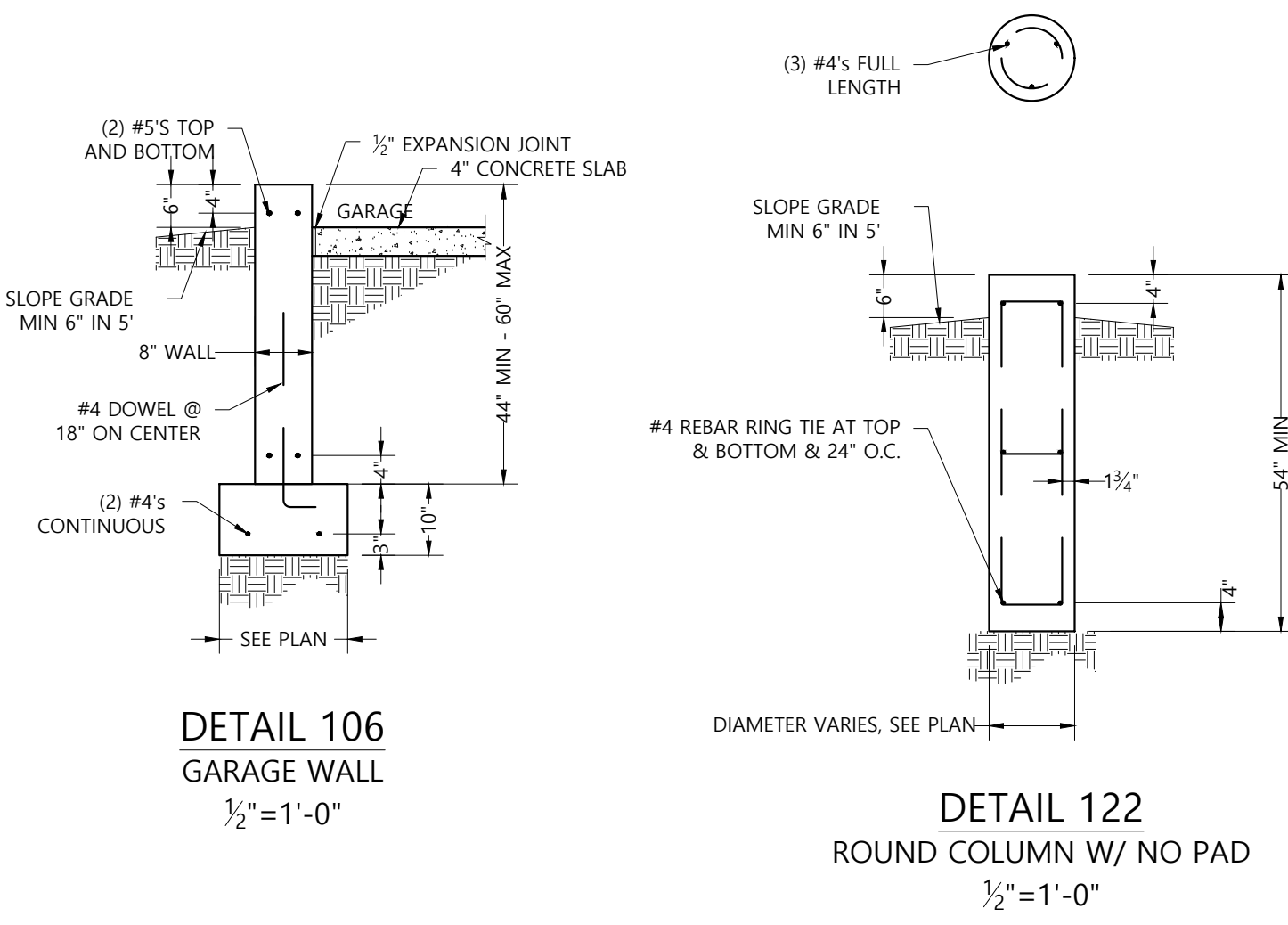
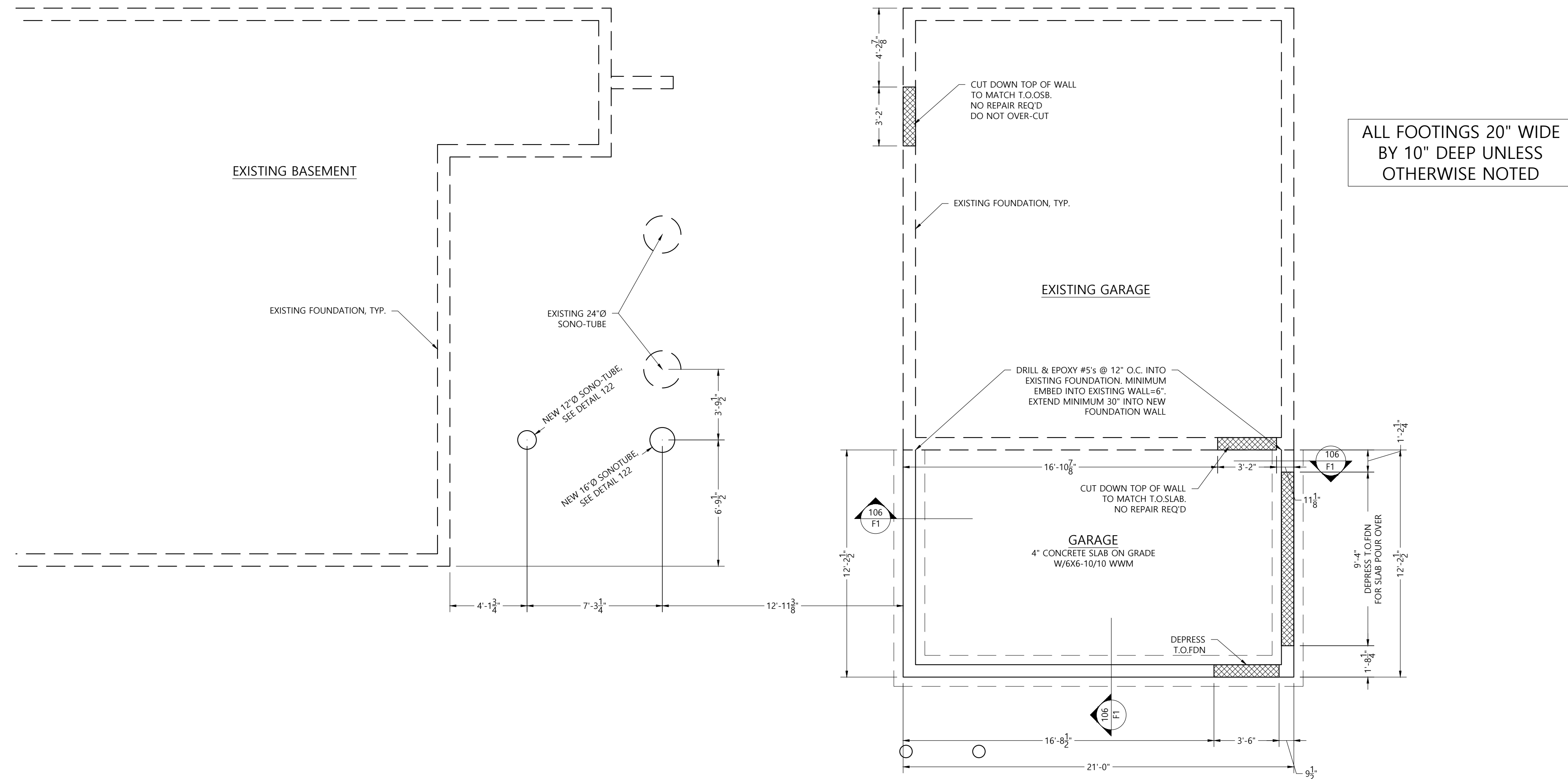
- ANGLES AND MISCELLANEOUS SHAPES SHALL CONFORM TO ASTM A36, BEAMS TO ASTM A992 (Fy=50 ksi), ROUND POSTS TO ASTM A53 (GRADE B) SQUARE TUBE POSTS ASTM A500 (GRADE B).
- ALL BEAM SPICES SHALL BE INSTALLED AS LOCATED AND DETAILED ON THE DRAWINGS. MINIMUM BEAM SPICES SHALL BE 3/8" PLATE WITH A MINIMUM OF (8) 3/8" A325 BOLTS. SPICES SHALL OCCUR 2'-0" OFF OF PIPE SUPPORT COLUMN LOCATION, UNLESS NOTED OTHERWISE.
- ALL BEAMS SHALL BE GROUTED SOLID INTO BEAM POCKETS WITH NON-SHRINK GROUT.
- ALL DEAD END BEAMS (SUICIDE BEAMS) SHALL BE BRACED TO THE FLOOR ABOVE WITH 2x4 KNEE BRACES.
- WHERE BEAMS CROSS EACH OTHER, SOLID STEEL SHIMS SHALL BE INSTALLED AND WELDED BETWEEN THE BEAMS.
- MINIMUM BEARING OF BEAMS IN BEAM POCKETS SHALL BE 3".
- POSTS ARE SPECIFIED WITH NOMINAL DIMENSIONS. (3"Ø SCHED. 40=3 1/2" O.D., 3 1/2"Ø SCHED. 40=4" O.D., 4"Ø SCHED. 40=4 1/2" O.D., 5"Ø SCHED. 40=5 1/2" O.D.).
- POST BASE PLATES SHALL BE SIZED AS LISTED BELOW
 - 3'-0-1/2" X 4" X 8"
 - 3'-0-1/2" X 4 1/2" X 8"
 - 4'-0-1/2" X 5" X 10"
 - 5'-0-1/2" X 6" X 10"
 - 6'-0-1/2" X 7" X 12"
- ALL ADJUSTABLE POSTS SHALL HAVE A MAXIMUM ADJUSTMENT OF 3". AT TIME OF INSTALLATION THE MAXIMUM SCREW EXTENSION MUST BE 2" OR LESS.
- ALL NON-ADJUSTABLE POSTS SHALL HAVE SOLID STEEL SHIMS INSTALLED BETWEEN THE PLATE AND BEAM AS REQUIRED.
- ALL STEEL COLUMNS SHALL BE WELDED TO THE BEAM BELOW AND ABOVE (AS APPLICABLE) OR ATTACHED TO THE CONCRETE FOOTING WITH A MINIMUM OF (1) 1/2" DIAMETER EXPANSION ANCHOR.
- CAST IN PLACE ANCHOR BOLTS SHALL CONFORM TO ASTM A307.

4. BASEMENT FLOOR CONSTRUCTION

- BUILDER AND OWNER MUST BE AWARE OF THE RISK OF SLAB ON GRADE CONSTRUCTION (SLAB MAY MOVE AND CRACK), AND HAVE OPTED FOR SLAB ON GRADE CONSTRUCTION, GIVEN THE INHERIT RISKS OF SLAB ON GRADE CONSTRUCTION.
- TO MINIMIZE MOVEMENT AND DAMAGE, ALL RECOMMENDATIONS IN THE SOIL REPORT MUST BE FOLLOWED.
- BLACK OAK ENGINEERING LLC WILL NOT ACCEPT ANY LIABILITY FOR DAMAGE TO ANY PORTION OF THE SLAB ON GRADE, OR ANY FUTURE FINISHED SPACES CONSTRUCTED OVER THE SLAB ON GRADE.

FOUNDATION WAS DESIGNED WITH AN ASSUMED BEARING CAPACITY. AN OPEN HOLE INSPECTION IS REQUIRED PRIOR TO CONSTRUCTION.

OPEN HOLE REPORT SHALL BE REVIEWED BY ENGINEER PRIOR TO CONSTRUCTION.



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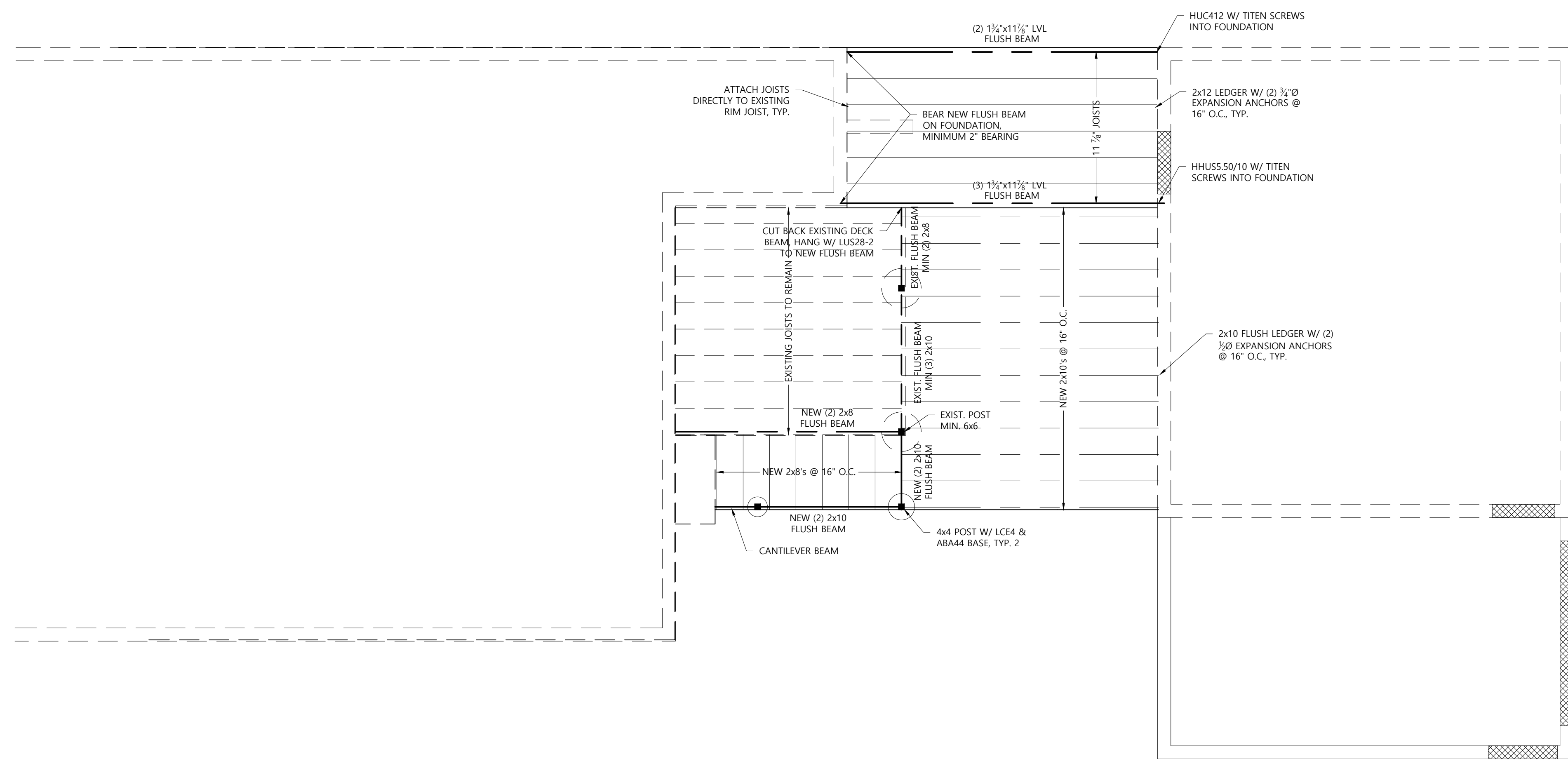
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SCALE: 1/4" = 1'-0"
PROJECT #: 24-032

F1

VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION



FRAMING NOTES:

1. **LUMBER**
 - a. ALL LUMBER, SHEATHING, AND ENGINEERED WOOD COMPONENTS SHALL CONFORM TO GUIDELINES FROM THE AWC, NDS.
 - b. ALL STRUCTURAL FRAMING INCLUDING; HEADERS, TOP PLATES, JOISTS, AND RAFTERS SHALL BE HEM FIR #2 OR BETTER.
 - c. ALL STUDS LESS THEN OR EQUAL TO 10'-0" SHALL BE HEM FIR STUD GRADE OR BETTER. ALL STUDS MORE THAN 10'-0" SHALL BE HEM FIR #2 OR BETTER.
 - d. ALL HEAVY TIMBER MEMBERS 6" AND GREATER SHALL BE DF-L #1 OR BETTER.
 - e. WOOD "I" JOISTS ARE TO BE INSTALLED ACCORDING TO THE MANUFACTURERS INSTRUCTIONS. IF VARIATIONS BETWEEN THOSE SPECIFICATIONS AND THIS PLAN ARE FOUND CONTACT ENGINEER FOR CLARIFICATION. SUBSTITUTIONS OF "I" JOISTS BETWEEN MANUFACTURERS ARE ALLOWED BUT MUST BE AN APPROVED EQUAL.
 - f. ALL LUMBER IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.
 - g. ALL EXTERIOR GLU-LAM BEAMS TO BE ALASKAN CEDAR 20F-V12
 - h. ALL OTHER GLU-LAM BEAMS TO BE DOUGLAS FIR 24F-V4
2. **STEEL**
 - a. ALL STEEL BEAMS TO BE ASTM A992 STEEL SHAPES (Fy=50 ksi).
 - b. ALL ROUND STEEL POSTS TO BE ASTM A53 (GRADE B) STEEL COLUMNS.
 - c. NOMINAL COLUMN DIAMETERS ARE LISTED (3"Ø=3 1/2"OD, 3 1/2"Ø=4" OD, 4"Ø=4 1/2"OD, 5"Ø=5 1/2"O.D.)
 - d. ALL SQUARE TUBE SHAPES SHALL BE ASTM A500 (GRADE B).
 - e. ENDS OF POSTS SHALL HAVE PLATES WELDED TO THE POST. THE BASE WILL BE BOLTED TO THE CONCRETE WITH A MIN OF (1) 3/8" EXPANSION BOLT.
 - f. ALL OTHER SHAPES (PLATES, ANGLES, CHANNELS) TO BE ASTM A36.
 - g. ALL STEEL TO STEEL CONNECTIONS SHALL BE FULLY WELDED AT ALL CONTACT SURFACES WITH A MIN OF A 3/16" FILLET WELD OF E70xx ELECTRODE.
 - h. STEEL BEAM SUPPLIER IS TO FURNISH BEAM BOLT TOGETHER CONNECTIONS WITH A MIN OF 3/8" PLATE AND (6) 3/8" Ø A325 BOLTS.
 - i. MINIMUM BEARING FOR STEEL BEAMS IS 3".
 - j. GROUT ALL BEAM POCKETS SOLID AFTER BEAM HAS BEEN SET AND SHIMMED.
3. **CONNECTIONS**
 - a. ALL HANGER CALL OUTS CORRESPOND TO PRODUCTS MANUFACTURED BY SIMPSON STRONG-TIE CORPORATION. OTHER MANUFACTURER PRODUCTS ARE ALLOWED AS LONG AS THEY ARE AN APPROVED EQUAL.
 - b. HANGERS FOR "I" JOISTS TO BE SIZED PER JOIST MANUFACTURER RECOMMENDATIONS.
 - c. PROVIDE MIN. OF H2.5T TRUSS CLIPS AT ALL TRUSS BEARING POINTS. PROVIDE DOUBLE CLIPS AT MULTIPLE PLY TRUSSES. OTHER ATTACHMENT MAY BE REQUIRED BY THE TRUSS DESIGNER.
 - d. SILL PLATES SHALL BE ATTACHED W/ 1/2" ANCHOR BOLTS AT FOUR FEET MAXIMUM ON CENTER, 12" FROM ALL CORNERS, MINIMUM 2 BOLTS PER PLATE.
 - e. TO PROVIDE LATERAL SUPPORT, TIE ALL WOOD PLATES, WHICH REST ON STEEL BEAMS, TO THE STEEL BEAM WITH X-2F 47 1/2"Ø EXPANSION BOLT. ACTUATED PINS AT 32" O.C. OR 3/8" THRU BOLTS @ 48" O.C. INTO THE TOP FLANGE OF THE BEAMS.
4. **MINIMUM MEMBER SIZES**
 - a. ALL LOAD BEARING HEADERS ARE TO BE (2) 2x10'S UNLESS NOTED OTHERWISE.
 - b. FOR 2x4 WALLS ALL HEADERS ARE TO BE SUPPORTED BY A MINIMUM OF (1) 2x4 TRIMMER AND (1) 2x4 KING STUD AT EACH JAMB, U.N.O. PROVIDE MINIMUM (2) 2x4 TRIMMERS AND (2) 2x4 KING STUDS AT EACH JAMB FOR OPENINGS 6'-0" TO 10'-0".
 - c. FOR 2x6 WALLS ALL HEADERS ARE TO BE SUPPORTED BY A MINIMUM OF (1) 2x6 TRIMMER AND (1) 2x6 KING STUD AT EACH JAMB, U.N.O. PROVIDE MINIMUM (2) 2x6 TRIMMERS AND (2) 2x6 KING STUDS AT EACH JAMB FOR OPENINGS 6'-0" TO 10'-0".
 - d. ALL WALLS SHALL BE FRAMED IN ACCORDANCE WITH TABLE R602.3.1.
 - e. ALL RAKE WALLS SHALL BE FRAMED FULL HEIGHT TO THE BOTTOM OF EITHER LOOKOUT RAFTERS OR VAULTED GABLE END TRUSS WITH 1 PIECE STUDS. BLOCKING MAY BE REQUIRED ON WALLS TALLER THAN 10'-0".
 - f. ALL POINT LOADS SHALL BE CARRIED DOWN AND BEAR DIRECTLY ON THE FOUNDATION WALL OR BEAM. EACH POST MUST INCREASE BY ONE PLY FOR EACH LEVEL CARRYING THE POINT LOAD. SQUASH BLOCKS ARE REQUIRED BETWEEN FLOORS.
 - g. ALL BEARING LENGTHS FOR WOOD BEAMS SHALL NEVER BE LESS THAN 1 1/2" AT THE ENDS OF BEAMS. BEARING ACROSS THE FULL WIDTH OF THE BEAM IS REQUIRED.
 - h. TYPICAL ROOF OVER FRAMING SHALL BE 2x6 AT 24" ON CENTER AND BE POSTED DIRECTLY TO TRUSSES OR RAFTERS BELOW. MAX. SPAN FOR THE 2x6 MEMBERS IS 6'.
 - i. ALL MULTIPLE MEMBER LVL'S SHALL BE ASSEMBLED ACCORDING TO THE SUPPLIERS RECOMMENDATIONS.
 - j. 2-PLY STUDS SHALL BE NAILED TOGETHER W/ TWO ROWS OF 16d NAILS @ 16" O.C. ADJACENT NAILS SHALL BE DRIVEN FROM OPPOSITE SIDES OF THE COLUMN.
 - k. 3-PLY STUDS SHALL BE NAILED THE SAME AS THE 2-PLY W/ THE THIRD PLY NAILED TO THE 2-PLY W/ (2) 16d NAILS @ 16" O.C.
 - l. 4 & 5-PLY STUDS SHALL BE NAILED THE SAME AS THE 3-PLY W/ CS16 STRAPS TOP & BOTTOM.
 - m. 6 & 7-PLY STUDS SHALL BE NAILED THE SAME AS THE 3-PLY W/ CS16 STRAPS TOP, CENTER, & BOTTOM.
 - n. EXTERIOR WALL SHEATHING SHALL BE 7/16" OSB NAILED WITH 8d NAILS AT 12" O.C. IN FIELD AND 6" O.C. AT EDGE OR 15ga. x 1 1/2" LONG x 3/16" WIDE STAPLES AT 8" O.C. IN FIELD AND 4" O.C. AT EDGE. OR 16ga. x 1 1/2" LONG x 3/16" WIDE AT 6" O.C. IN FIELD AND 3" O.C. AT EDGE.
 - o. ROOF SHEATHING SHALL BE 1 1/2" OSB W/ 8d NAILS AT 6" O.C. EDGE AND 10" O.C. FIELD NAILING.
 - p. FLOOR SHEATHING SHALL BE MINIMUM 3/4" OSB W/ 8d NAILS AT 6" O.C. EDGE AND 12" O.C. FIELD NAILING.
 - q. INTERIOR WALL SHEATHING SHALL BE 1/2" DRYWALL W/ 1 1/4"x#6 DRYWALL SCREWS AT 8" O.C.
 - r. ALL NAILING SHALL BE IN CONFORMANCE WITH IRC TABLE R602.3
5. **GENERAL**
 - a. FRAMING CONTRACTOR IS RESPONSIBLE FOR COORDINATING LOCATION OF PLUMBING IN REFERENCE TO FLOOR FRAMING.
 - b. AT FIRST FLOOR AND STRUCTURAL FLOOR, WHERE JOISTS RUN PARALLEL TO THE FOUNDATION WALLS, PROVIDE PERPENDICULAR SOLID BLOCKING AT 4'-0" ON CENTER FOR THE FIRST 3 BAYS.
 - c. PROVIDE SOLID BLOCKING AT SUPPORTS BETWEEN TRUSSES TO PREVENT ROTATION.
 - d. PROVIDE SOLID BLOCKING AT ALL TRUSS RIDGES, HIPS AND VALLEYS.
 - e. PROVIDE SOLID BLOCKING AT INTERMEDIATE BEARING FOR FLOOR JOISTS WHERE WALL ABOVE IS A BEARING WALL. SOLID BLOCKING IS ALSO REQUIRED WHEN JOIST SPLICES OCCUR OVER A BEAM. SOLID BLOCKING IS NOT REQUIRED WHEN THERE IS NO SPLICE OR BEARING WALL ABOVE.

CODE REFERENCES:
 IRC 2021
 AISC 15th EDITION
 ACI 318-19
 AWC, NDS 2018

<u>FLOOR LOADS</u>	<u>ROOF LOADS</u>
40 PSF LIVE	45 PSF SNOW
15 PSF DEAD	20 PSF DEAD
55 PSF TOTAL	65 PSF TOTAL

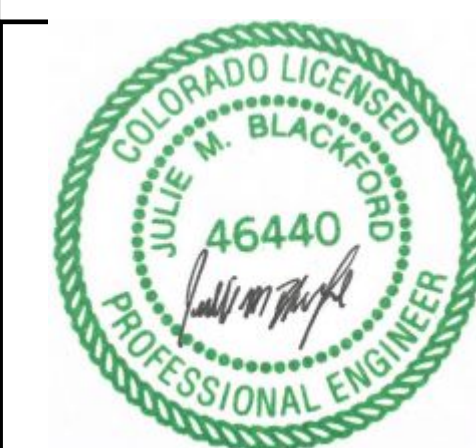
<u>DECK LOADS</u>	<u>WIND LOADS</u>
40 PSF LIVE	115 MPH ult
10 PSF DEAD	EXPOSURE "C"
50 PSF TOTAL	

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MAIN FLOOR FRAMING PLAN

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S1

TRUSS LAYOUT SHOWN IS PRELIMINARY FINAL
LAYOUT SHALL BE REVIEWED BY ENGINEER
PRIOR TO CONSTRUCTION

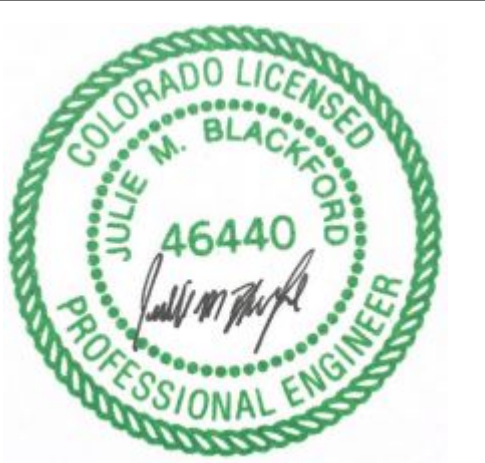
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UPPER FLOOR & LOWER ROOF PLAN

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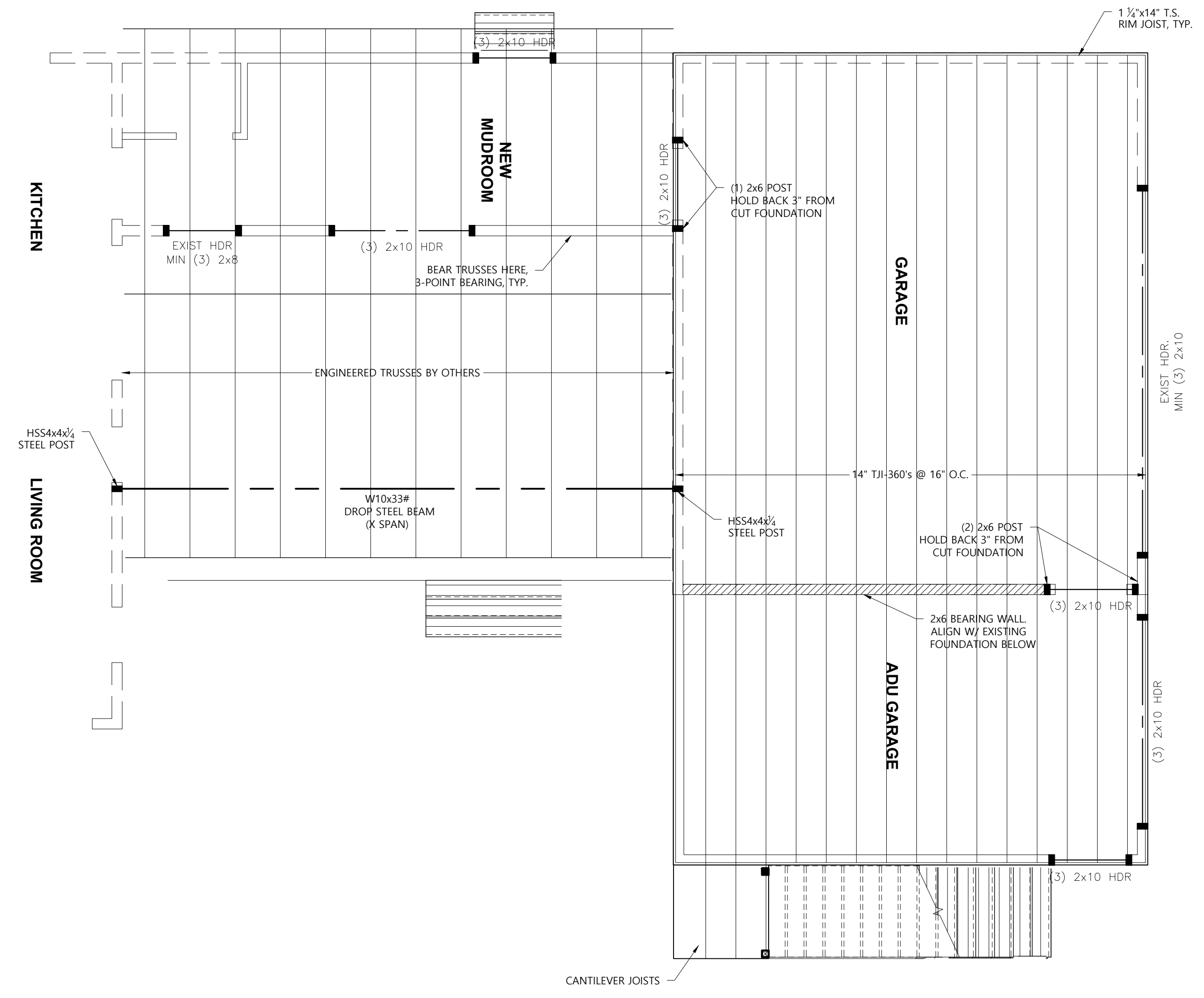
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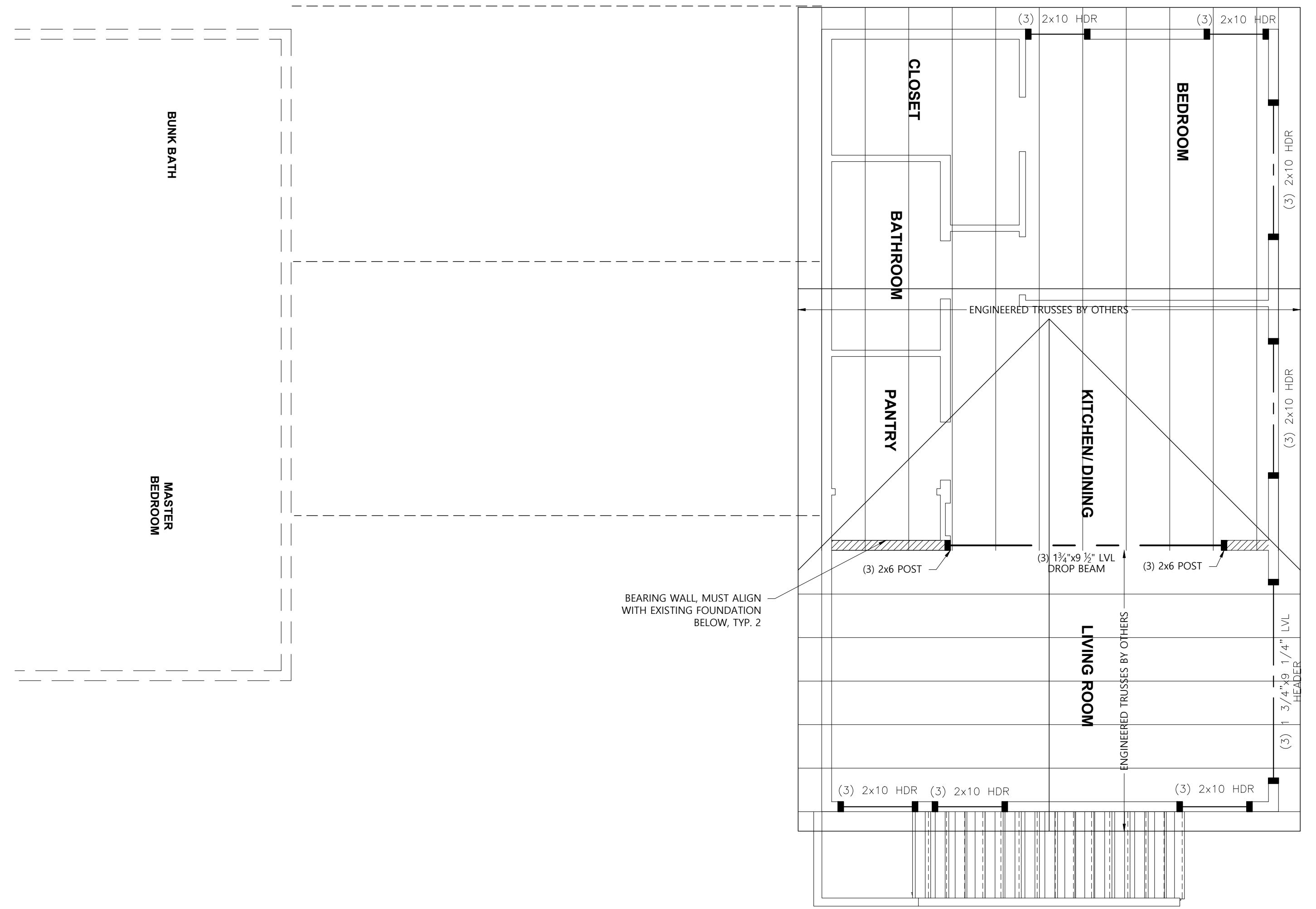
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S2



SECOND FLOOR & LOWER ROOF FRAMING
1/4" = 1'-0"



ROOF FRAMING
1/4" = 1'-0"